

Planning Committee Agenda



Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

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25 June 2019

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To the Members of the PLANNING COMMITTEE

Councillors: D. Allcard (Chairman)

M. S. Blacker

J. S. Bray

H. Brown

P. Harp

J. Hudson

F. Kelly

J. P. King

S. A. Kulka

S. McKenna

R. Michalowski

S. Parnall

C. Stevens

R. S. Turner

S. T. Walsh

Substitutes

Councillors:

Conservatives:

Residents' Group:

Green Party:

Liberal Democrats

R. Absalom, N. C. Moses, J. Paul and K. Sachdeva

G. Adamson, R. J. Feeney, R. Harper, N. D. Harrison and
C. T. H. Whinney

J. C. S. Essex, S. L. Fenton, R. Ritter and S. Sinden

D. A. Ross

For a meeting of the **PLANNING COMMITTEE** to be held on **WEDNESDAY, 3 JULY 2019** at **7.30 pm** in the New Council Chamber - Town Hall, Reigate.

John Jory
Chief Executive

1. MINUTES

(Pages 5 - 6)

To confirm as a correct record the Minutes of the previous meeting.

2. APOLOGIES FOR ABSENCE

To receive any apologies for absence.

3. DECLARATIONS OF INTEREST

To receive any declarations of interest.

4. ADDENDUM TO THE AGENDA

(To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 17/02947/F - LAND AT LANGLEY VALE, SOUTH OF DOWNS ROAD, EAST OF HEADLEY ROAD, HURST ROAD, HEADLEY, EPSOM, SURREY

(Pages 7 - 94)

Joint hybrid application for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures (Full Application). Erection of visitors' centre and play space, including play equipment, (Outline Application) and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England. As amended on 13/02/2018 and on 07/12/2018. As amended on 11/02/2019 & 02/04/2019.

6. 19/00062/F - HORLEY GAS HOLDER STATION, BALCOMBE ROAD, HORLEY (Pages 95 - 130)

Redevelopment of the site to incorporate the erection of a part two and part three storey office building together with associated car parking and cycle parking spaces, hard and soft landscaping and other ancillary works. As amended on 15/03/2019 and on 17/05/2019.

7. 19/00387/S73 - HILLTOP, WARREN DRIVE, KINGSWOOD, SURREY (Pages 131 - 146)

Demolition of existing dwelling, garage block and pool buildings. Erection of new dwelling, pool block and front boundary wall with railings and construction of underground garage and ramp access. Variation of condition 1 of permission 18/02041/F - changes to windows and doors on the rear and side elevation of the dwelling, and changes to the size and scale of the garage block and pool building.

8. ANY OTHER URGENT BUSINESS

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.

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Agenda Item 1

Planning Committee
12 June 2019

Minutes

BOROUGH OF REIGATE AND BANSTEAD

PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the New Council Chamber - Town Hall, Reigate on 12 June 2019 at 7.30 pm.

Present: Councillors D. Allcard (Chairman), M. S. Blacker (Vice-Chair), J. S. Bray, P. Harp, J. Hudson, F. Kelly, J. P. King, S. A. Kulka, R. Michalowski, S. Parnall, C. Stevens, R. S. Turner and N. C. Moses (Substitute).

Also present: Councillors H. Brown, K. Sachdeva and C. T. H. Whinney.

1. ELECTION OF CHAIRMAN

RESOLVED that Councillor D. Allcard be appointed as Chairman for the 2019-20 municipal year.

2. ELECTION OF VICE-CHAIRMAN

RESOLVED that Councillor M. Blacker be appointed as Vice-Chairman for the 2019-20 municipal year.

3. MINUTES

RESOLVED that the minutes of the previous meeting held on 15th May 2019 be confirmed and signed as a correct record.

4. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor S. Walsh (substituted by Councillor N. Moses).

5. DECLARATIONS OF INTEREST

There were no declarations of interest.

6. ADDENDUM TO THE AGENDA

RESOLVED that the addendum be noted.

7. 18/01072/F - LAND ADJACENT TO THE GROVE WELLS PLACE, MERSTHAM, SURREY

The Committee considered an application at the land adjacent to the Grove Wells Place in Merstham for the erection of two detached commercial units for B1(b), B1(c), B2 & B8 use with associated car parking and yard areas.

RESOLVED that planning permission be **GRANTED** as per recommendation and updated condition within the addendum

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8. 18/00240/F - 39 WOODMANSTERNE STREET, WOODMANSTERNE, SURREY, SM7 3NQ

The Committee considered an application at 39 Woodmansterne Street in Woodmansterne for the demolition of the existing dwelling and outbuildings and erection of 3 dwellings.

RESOLVED that planning permission be **GRANTED** as per the recommendation and the additional condition within the addendum PLUS additional condition regarding archaeology (omitted from original report) as follows:

No development shall take place until the applicants or their agents or successors in title have secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.

Reason: The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to the Reigate and Banstead Borough Local Plan 2005 policy Pc8.

9. 18/02368/F - BUSINESS PREMISES REAR OF MANOR COTTAGE FARM, RECTORY LANE, WOODMANSTERNE, SURREY, SM7 3NX

The Committee considered an application at the business premises to the rear of Manor Cottage Farm on Rectory Lane in Woodmansterne for a change of use and redevelopment of the existing business premises to provide 3 dwellings.

RESOLVED that planning permission be **GRANTED** as per the recommendation and the removal of duplicate condition as per the addendum

10. 19/00064/F - 17 CHURCH ROAD, HORLEY, SURREY, RH6 7EY

The Committee considered an application at 17 Church Road in Horley for a two storey rear and side extension.

RESOLVED that planning permission be **GRANTED** as per the recommendation.

11. ANY OTHER URGENT BUSINESS


There was no other urgent business to consider.

The Meeting closed at 8.25 pm

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Planning Committee
3 July 2019

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	3 rd July 2019
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Hollie Marshall
	TELEPHONE:	01737 27010
	EMAIL:	Hollie.marshall@reigate-banstead.gov.uk
AGENDA ITEM:	5	WARD: Lower Kingswood, Tadworth and Walton

APPLICATION NUMBER:	17/02947/F	VALID:	18th December 2017
APPLICANT:	Woodland Trust	AGENT:	PlanSurv Limited
LOCATION:	LAND AT LANGLEY VALE, SOUTH OF DOWNS ROAD EAST OF HEADLEY ROAD HURST ROAD HEADLEY EPSOM SURREY		
DESCRIPTION:	Joint hybrid application for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures (Full Application). Erection of visitors' centre and play space, including play equipment, (Outline Application) and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England. As amended on 13/02/2018 and on 07/12/2018. As amended on 11/02/2019 & 02/04/2019.		
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SUMMARY

This is a joint hybrid application for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures. Also, in outline, the erection of a visitors' centre and play space, including play equipment, and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England. Permission for the planting of 200,000 trees at the site has been granted by the Forestry Commission.

The site contains areas of woodland, some of which are designated Ancient Woodland, hedgerows, grassland, arable fields and tracks. The site as a whole is within the Metropolitan Green Belt and is an Area of Great Landscape Value. A large part of the site is also designated a Site of Nature Conservation Importance.

The whole site for the proposed Centenary Woodland straddles the boundaries of Reigate and Banstead Borough Council (RBBC), Epsom and Ewell Borough Council

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(EEBC) and Mole Valley District Council(MVDC). The proposed car park and parts of the hard surfaced paths fall within MVDC, and the proposed visitor centre, memorial area, play area and some hard surfaced paths (all in outline) fall within EEBC. The multi-user paths fall within the boundaries of RRBC and are the consideration of this planning application.

The multi user paths would be 3,571m in length in total. The dual path would avoid two separate routes to minimise impacts on the landscape and ecology. The widths of the paths have been designed to reflect the needs of the user groups to ensure a safe and functional route. The introduction of a cycle and horse riding path has been proposed to reflect the particular importance of both pursuits in the locality. The site is located in close proximity to Epsom Racecourse and numerous stables. Cycling has also been identified as a popular activity and the proposal would provide greater off road provision and links to existing bridleways.

The introduction of the multi-user paths would provide increased and greater access to the local and wider community into the countryside for the pursuit of outdoor recreation and leisure and the associated enjoyment of the countryside and wellbeing benefits. Hedges are proposed to line the paths and through the centre of the paths, where appropriate, in order to contain user groups and minimise the landscape, visual and ecological impacts upon the site and the proposal is considered to have a very limited impact in regards to the openness of the site. The proposal is considered to be compliant with the requirements of the NPPF and local plan policies and is considered to be appropriate development in the Green Belt.

The proposal is considered to comply with local and national policy in terms of conserving and enhancing the natural environment. The long term strategy of the proposal has been highlighted as having a beneficial impact and subject to conditions to mitigate harm during the construction phase, and the long term management of the site, the proposal is considered acceptable in this regard.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: The County Highway Authority has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway. The County Highway Authority therefore has no highway requirements subject to conditions.

Environment Agency – no objection subject to conditions

Tadworth and Walton Residents Association – No comments received

Sustainable Drainage SCC – No objection subject to conditions

UK Power Networks – no objection to proposed works

Sutton and East Surrey Water Company – no comments received

Natural England – Statutory nature conservation sites – no objection. Natural England has assessed this application using the Impact Risk Zones data. Natural England advises your authority that the proposal, if undertaken in strict accordance with the details submitted, is not likely to have a significant effect on the interest features for which the Mole Valley Gap to Reigate Escarpment SAC has been classified. Natural England therefore advises that your Authority is not required to undertake an Appropriate Assessment to assess the implications of this proposal on the site's conservation objectives.

In addition, Natural England is satisfied that the proposed development being carried out in strict accordance with the details of the application, as submitted, will not damage or destroy the interest features for which the Mole Valley To Reigate Escarpment SSSI has been notified. We therefore advise your authority that the SSSI does not represent a constraint in determining this application.

Protected Species – not assessed for impact on protected species – standing advice should be applied.

Principal Archaeologist – No objection

Ramblers' Association – No comments received

Historic England – Are of the view on the basis of the information available, do not need to be notified or consulted on this application under the relevant statutory provisions.

Contaminated Land Officer – Recommends an informative as it is noted a former chalk pit on or in the nearby vicinity of the site.

Surrey Wildlife Trust – 'The information available suggests that there is not a nature conservation reason for refusing this planning application. We would even suggest that a major element of the application might be subject to the national policy

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direction in respect of development proposals "...where the primary objective is to conserve or enhance biodiversity [and] should be permitted" (*National Planning Policy Framework*, section 118). We would also however, endorse various bodies' recommendations (including those of the Surrey Bat Group) to impose conditions to further enhance the mitigation strategy for the project.'

Surrey Hills AONB Officer – Strong AONB support is given to the principle of the proposed woodland, recreation and education facilities. In this connection the application submission includes a letter of support from Rob Fairbanks, the Surrey Hills AONB Directory. Further, implementation of the landscape improvement proposals before the Surrey Hills AONB Boundary Review is completed by Natural England may justify this part of the AGLV being included in the AONB.

Within Reigate and Banstead unqualified support is given for the proposals within that Authority. But my initial advice to the 3 Planning Departments, whilst expressing generally strong support for the proposals, did express two landscape protection concerns that involve Epsom and Ewell and Mole Valley.

Concern was expressed over the location of the visitor centre and car park.

Byways and Bridleways Trust – no comments received

Ashted Residents Association – objects on the grounds of car park location, increase in traffic and congestion, inadequate parking, harm to green belt, sustainability and sequential location test, archaeology and environmental assessment

Botanical Society of Britain and Ireland – objects on the grounds of the applicant has not been able to demonstrate the need for this development in the green belt, absence of information in relation to plants and birds, loss of rare arable species, environmental impact.

The Jockey Club – Withdraw their objection on the basis that the principle of the horse crossing improvements at Headley Road is agreed and the detailed design of the crossing will be secured by way of a pre-commencement condition and that The Jockey Club will be part of the discussions informing the final design of the crossing.

Surrey Botanical Society – Concern raised over the importance of the site for some of the rare species in a national and Surrey Context. Consider further surveys are required and urged those responsible for the future of the site to account of points raised in planning management of the site.

Representations:

Letters were sent to neighbouring properties on 20th December 2018, 5 site notices was posted 7th February 2018 and advertised in local press on 10th January 2018

18 responses have been received raising the following issues:

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Issue	Response
Inappropriate development in the green belt	See paragraph 6.3 – 6.9
Out of character with surrounding area	See paragraph 6.10 – 6.15
Harm to wildlife habitat	See paragraph 6.16 – 6.24 and condition 8
Light pollution	See paragraph 6.40
Air pollution	See paragraph 6.39 and condition 4
Noise and disturbance	See paragraph 6.39 and condition 4
Increase in traffic and congestion	See paragraph 6.31 – 6.32
Hazard to highway safety	See paragraph 6.31 – 6.32
Harm to Conservation Area	See paragraph 6.25
No need for the development	See paragraph 6.8
Health and wellbeing benefit	See paragraph 6.8 – 6.9
Nature conservation	See paragraph 6.16 – 6.24 and condition 8
Site of commemoration	See paragraph 6.9
Community/regeneration benefit	See paragraph 6.9
Visual amenity benefits	See paragraph 6.10 – 6.15

1.0 Site and Character Appraisal

- 1.1 The site comprises an area of 25.59 hectares of arable land and woodland from the rear of Downs Way at the eastern edge of the site, and moving westwards to where the site meets Downs Road and Headley Road, within the boroughs of Mole Valley District Council (MVDC) and Epsom and Ewell Borough Council (EEBC). The Woodland Trust acquired 259 hectares of land at Langley Vale with the intention of it becoming one of the four First World War Centenary sites. The wider site is an arable farm.
- 1.2 The site contains areas of woodland, some of which are designated Ancient Woodland, hedgerows, grassland, arable fields and tracks. The site as a whole is within the Metropolitan Green Belt and is an Area of Great Landscape Value. A large part of the site is also designated a Site of Nature Conservation Importance.
- 1.3 The site is undulating in gradient and existing bridleways pass around and through the site giving public access.
- 1.4 The majority of the site sits within the Borough of Reigate and Banstead. This is largely the central and eastern part of the site. The north western section

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falls within Epsom and Ewell Borough Council and the south western section lies within Mole Valley District Council.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant sought pre-application advice and advice included an Environmental Impact Assessment screening opinion request.
- 2.2 Improvements secured during the course of the application: Further information has been sought and provided by the Applicant during the course of the application. Amendments include replacing an area of woodland creation with arable habitat, a final option on the construction traffic route along Langley Vale Road to the B290 and an improvement to the existing horse crossing on Headley Road is proposed offsite.

3.0 Relevant Planning and Enforcement History

- 3.1 15/02077/SCREEN Proposed development of Visitors Car Park, Visitors Centre, Memorial Area, and hard surfaced access paths at Langley Vale Centenary Woodland, including a remodelled vehicular access and associated infrastructure - EIA Screening Request EIA is required 21st January 2016

4.0 Proposal and Design Approach

- 4.1 This is a joint hybrid application for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures. Also, in outline, the erection of a visitors' centre and play space, including play equipment, and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England.
- 4.2 The Woodland Trust is seeking to create four flagship woods, one in each country of the United Kingdom. Langley Vale Wood will form the Centenary Woodland for England. The site has been selected by the Applicant due to its former use as a training area for troops who were to be sent to the front line during the War. The primary objectives of the proposed development for the Applicant are:
- To plant 200,000 native trees, including beech, rowan, hawthorn and oak;
 - To provide a lasting memorial to commemorate the end of the First World War; and
 - To provide a visitors' centre and publicly accessible woodland.

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- 4.3 The site falls within the boundaries of Reigate and Banstead Borough Council, Epsom and Ewell Borough Council and Mole Valley District Council.
- 4.4 Within the boundaries of Reigate and Banstead Borough Council falls the proposed multi-user paths. The majority of the paths shall be made up of a 2m wide cycle path and 3m wide equestrian path. A gap of 0.5m is proposed between the paths and a hedge made up of a mix of hawthorne, field maple and hazel with birch trees to be planted every 20m is proposed to line each side of the path and the gap between the cycle and equestrian path.
- 4.5 A section of approximately 190m is proposed to be the same specification as above, albeit with a two rail post and rail fence in split chestnut along one side. This is proposed as this section of path is close to existing trees and to avoid competition between new planting and existing vegetation. Another section of path of approximately 185m, running through Round Wood and a small section of approximately 54m adjacent to Sheep Walk would have the same specification as the previously mentioned paths, however would be lined on both sides and through the gap between the cycle and equestrian paths with post and rail fence to avoid competition between new planting and existing woodland.
- 4.6 The paths would be finished in an Ultitrec recycled surface or similar to provide an all weather path surface
- 4.7 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.8 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as arable land and woodland. The wider site is an arable farm set in rolling chalk slopes and comprises a number of ancient woodlands.
	Site features meriting retention are listed existing woodlands.
Involvement	Community views were sought by informal discussions with neighbours including public meetings and open days, a two day public exhibition and informal discussions with the Crime Prevention Officer. A Statement of Community Involvement accompanies the planning application.

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Evaluation	No alternative locations for the proposed development have been considered as this will be the only Centenary Woodland in England. The existing site provides over 140 acres of woodland and therefore provides a suitable environment to integrate and plant an additional 200,000 native trees. The proposal has evolved to ensure there will be no adverse impacts on the existing ancient woodland. The 200,000 new native trees will be planted out by the end of 2019 (as consented by the Forestry Commission). The site is popular for recreational purposes and is well connected to enable visitor access. The design and location of the visitor centre, car park and foot paths have evolved through consideration and consultation with stakeholders prior to submission of the application.
Design	The applicant's reasons for choosing the proposal from the available options were to create Centenary woodland to develop the opportunity for outdoor recreation, conservation and education as well as creating a tranquil area for quiet reflection and remembrance.

4.5 Further details of the development are as follows:

Site area	25.59 hectares
Existing parking spaces	0
Proposed parking spaces	70 permanent (100 temporary overflow spaces) (car park within Mole Valley District Council)

5.0 Policy Context

5.1 Designation

Metropolitan Green Belt
Area of Great Landscape Value
Site of Nature Conservation Importance
Ancient Woodland

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS2 (Valued Landscapes and Natural Environment),
CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS17 (Travel options and accessibility)

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5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc1, Pc2G, Pc3, Pc4, Pc5, Pc6
Heritage Sites	Pc8, Pc9, Pc 10
Metropolitan Green Belt	Co1, Co2
Recreation	Re2, Re5, Re8
Community Facilities	Cf2, Cf3
Movement	Mo4, Mo5, Mo6, Mo7, Mo12, Mo13

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Emerging Development Management
Plan 2019

Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010
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6.0 **Assessment**

6.1 This is a joint hybrid full application for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures. Also, in outline, the erection of a visitors' centre and play space, including play equipment, and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England. The elements for consideration within the boundaries of Reigate and Banstead Borough Council are the proposed multi-user paths.

6.2 The main issues to consider are:

- Impact on Green Belt
- Impact on landscape and character
- Biodiversity
- Heritage
- Impact on trees
- Highway matters
- Neighbour amenity
- Archaeology
- Drainage
- Associated applications in Mole Valley District Council and Epsom and Ewell Borough Council

Impact on Green Belt

6.3 Paragraph 145 of the NPPF states '*A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt.*

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Exceptions to this are: b) the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;’.

- 6.4 Paragraph 146 of the NPPF states ‘*Certain other forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it. These are: e) material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds);’.*
- 6.5 Paragraph 91 (c) of the NPPF states that planning decisions should aim to achieve healthy, inclusive and safe places which ‘*enable and support healthy lifestyles, especially where this would address identified local health and well-being needs – for example through the provision of safe and accessible green infrastructure, sports facilities, local shops, access to healthier food, allotments and layouts that encourage walking and cycling.’* Paragraph 96 identifies the importance of access to a network of high quality open spaces and opportunities for sport and physical activity for the health and well-being of communities.
- 6.6 A dual path is proposed to be created, that would run from Sheep’s Walk at the western boundary of the borough and meander eastwards towards Ebbisham Lane. On the eastern side of Ebbisham Lane the route would take a circular route around existing fields that would comprise chalk grassland and new planting. The multi user paths would be 3,571m in length in total. The dual path would avoid two separate routes to minimise impacts on the landscape and ecology. The widths of the paths have been designed to reflect the needs of the user groups to ensure a safe and functional route. The introduction of a cycle and horse riding path has been proposed to reflect the particular importance of both pursuits in the locality. The site is located in close proximity to Epsom Racecourse and numerous stables. Cycling has also been identified as a popular activity and the proposal would provide greater off road provision and links to existing bridleways.
- 6.7 Hedges are proposed to line the paths and through the centre of the paths, where appropriate, in order to contain user groups and minimise the landscape, visual and ecological impacts upon the site. This would provide screening in wider views of the site from the hard surfacing of the paths, further limiting the visual impact.
- 6.8 The introduction of the multi-user paths would provide increased and greater access to the local and wider community into the countryside for the pursuit of outdoor recreation and leisure would support the identified importance of opportunity for sport and physical activity. It is not proposed to erect any buildings within the borough. The paths would have a very limited impact in regards to the openness of the site and would support the provision of access to the countryside, recreation and leisure. The proposal is considered to be compliant with the requirements of the NPPF and local

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plan policies and is considered to be appropriate development in the Green Belt.

- 6.9 Even in the event that the proposal was not considered appropriate development in the Green Belt, the essence of the proposal is to create a Centenary Woodland for the commemoration of the First World War and the site's role in training troops for the front line during the conflict. The site will be of national importance as one of four proposed for each of the countries of the United Kingdom. As well as providing space for recreation and leisure and increased access to the countryside, the proposal will provide a place for commemoration and remembrance. Were the proposed not considered appropriate development, it is considered that very special circumstances do exist to justify the proposal.

Impact on landscape and character

- 6.10 The site is designated an Area of Great Landscape Value. Policy Pc1 of the Reigate and Banstead Borough Local Plan states that the Borough Council will protect such areas from inappropriate development and will promote measures for the conservation and enhancement of the landscape. The policy goes on to say that there will be a general presumption against any development other than to meet the essential requirements of agriculture, forestry or informal recreation. The Borough Council will promote conservation and enhancement by encouraging the management of open spaces and public rights of way for nature conservation and informal recreation use to ensure that visitors are accommodated without detriment to the environment.
- 6.11 The site has gained consent from the Forestry Commission for the planting of 200,000 trees. As such much of the visual amenity and character of the landscape is anticipated to change over time as the newly planted woodland matures.
- 6.12 The application was supported by an Environmental Statement that included a Landscape and Visual Impact Assessment. Paragraph 12.11.34 notes:

'The orange ZVI (Zone of Theoretical Visibility) sub-zone represents the part of the ZVI from which the proposed new multi-user path will be visible, as it extends eastwards from Sheep's Walk. The path traces a long and convoluted route through the landscape which gives rise to an extensive range of adjacent locations in the surrounding fields from which the path elements will be visible. However, from most of these locations the additional new route will appear only in the form of side view of the new hedging that is part of it. Once these have become established enough to blend in with the existing mature hedgerows, they will have a barely perceptible effect upon either the visual amenity of or the appearance of landscape character. The multi-user path will be visible from an extensive area on the top of Walton Down, however it will quickly blend in with the existing hedgerows when seen from such a distance. Some parts of the

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path around the field perimeter will remain visible in the medium to long-term, although they will soften and appear less stark.'

- 6.13 The Council instructed an independent Environmental Statement Review in the context of the landscape and visual impact. In paragraph 3.48 of the report produced by EPD, it noted they agree with the above assessment. The report concludes '*EDP has reviewed the Landscape and Visual Impact (Chapter 12) of the ES and based upon the information provided in the ES finds that the LVI assessment of landscape and visual effects of the overall the proposed development including visitor centre, memorial structure, car parking and pathways would not result in significant residual effects.'*
- 6.14 The proposed new hedgerows are considered to minimise the visual impact of the new paths from wider views of the site. The proposed finishing material for the construction of the paths would be a dull mid-grey that will not stand out in the landscape and will soften over time as it weathers.
- 6.15 These paths will provide access into the landscape and the associated enjoyment of the countryside, recreation, leisure and wellbeing benefits. This is considered to outweigh any minor harm that would result from the construction of the paths.

Biodiversity

- 6.16 The site contains a wide range of significant wildlife and habitats including Ancient Semi-Natural Woodland, hedgerows and chalk grassland. Areas such as this can provide an important ecological function and are therefore protected under Policy Pc3 of the Borough Local Plan. Policy Pc3 of the existing Borough Local Plan seeks to retain all ancient woodland. Ancient woodland is an irreplaceable resource of great importance for its wildlife, its history and the contribution it makes to the landscape. Once lost it cannot be replaced and therefore requires protection and careful management.
- 6.17 Chapter 15 of the NPPF concerns conserving and enhancing the natural environment. Paragraph 170 states that planning decisions should contribute to and enhance the natural environment by protecting and enhancing valued landscapes, sites of biodiversity, recognise the intrinsic character and beauty of the countryside and minimise impacts on and providing net gains for biodiversity.
- 6.18 Concern has been raised in comments received in regards to the impact on the tree planting upon the established wildlife habitats. Tree planting and future management of the woodland has been granted permission by the Forestry Commission and not a matter for consideration under this application. However, the impact of the proposed multi-user paths on the wildlife habitats is appropriate to consider in the assessment of the application.
- 6.19 The Environmental Statement submitted with the application has considered the impact upon biodiversity. The report identifies eight different types of

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habitat within the site – arable, improved grassland, species poor semi improved grassland, semi-improved grassland, semi-natural broad-leaved woodland (including ancient woodland), plantation broad-leaved woodland (including ancient woodland), tall ruderal and hedgerows.

- 6.20 The Environmental Statement notes the creation of the large network of permanent paths at the site will reduce visitor pressure to the nearby chalk downland and woodland Special Area of Conservation (SAC), nearby Sites of Nature Conservation Importance and Local Nature Reserves because the site will absorb a significant proportion of the visitor numbers currently using the other sites. No new paths will be created through the areas of ancient woodland on site but the existing pathways through the woodlands may degrade from over use and the habitats suffer compaction and puddling. However the ES notes 'the Trust is experienced in providing public access whilst protecting valuable habitats. Therefore with suitable management plans in place, the impact of the increased public access is expected to be major beneficial'.
- 6.21 The report identifies a range of construction and operational impacts arising especially from lighting and pollution are predicted on badger, bats, birds, invertebrates and European hedgehog. Measures to protect each of these would be secured through conditions requiring construction and operational management plans. The report concludes *'the future scenario where the Site is transformed by the planting of broadleaved trees offers a wide array of beneficial effects for protected species especially badger, bats, breeding birds and rare invertebrates.'*
- 6.22 The Surrey Wildlife Trust were consulted upon the application and provided the following comments:

You will be aware that the application concerns land within several contiguous Sites of Nature Conservation Importance (SNCI) identified through the adopted procedures for Surrey¹, and protected by current planning policy in policies CS3 of the Epsom & Ewell Core Strategy (2007); ENV12 of the Mole Valley Local Plan (2000); and CS2 of the Reigate & Banstead Local Plan: Core Strategy (adopted July 2014). The application site contains Arable field margins, Hedgerows, Lowland mixed deciduous woodland (some of it Ancient woodland), and Lowland calcareous grassland; all of which are 'Habitats of principal importance for the conservation of biodiversity in England²', regard for the conservation of which is required of local authorities under Section 40 of the Natural Environment & Rural Communities Act 2006, and as advised by Chapter 11: Conserving and Enhancing the Natural Environment of the National Planning Policy Framework 2012. The Environmental Statement has identified the presence of European protected species³ on the application site, as well as several 'Species of principal importance for the conservation of biodiversity in England²' (mainly plants and birds), regard for which is also required of local authorities via the Natural Environment & Rural Communities Act .

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Appendix 10.1-13.

As requested, we have examined the material submitted to amend the application, namely Appendix 10.1: Ecology Survey Results, Langley Vale Wood Visitors' Centre, Car Park, Play Space, Memorial Area and Paths (Southern Ecological Solutions, November 2017). Our comments on Appendix 10.1-13 are below.

The ecological surveys undertaken for the Environmental Statement and Environmental Impact Assessment supporting the planning application are fully described in Appendix 10.1 (at paras. 2.4-2.29 and in various appendices). These have been thoroughly scoped and undertaken in general conformity with respective guidelines and procedures recommended by either/both the Chartered Institute of Ecologists & Environmental Managers (CIEEM) and/or appropriate specialist conservation bodies.

Results (paras. 4.1-4.62).

para. 4.18. (is incorrect): "...the RDB Critically Endangered, Priority BAP ground-pine red hemp-nettle Galeopsis angustifolia, for which the Site is now the only known inland site in south-east England.."

para. 4.20. "Indeed the Site is likely to be the most species-rich arable site in Surrey." The site has actually been formally recognised as the most species-rich arable site in Surrey, being the county's only Important Arable Plant Area⁴ (IAPA) as defined and designated by the wild plant conservation eNGO Plantlife.

para. 4.30-4.37 (Bats). We are aware of various comments submitted by the Surrey Bat Group (SBG) criticising the methods used for bat surveys. These include an inconsistency in sourcing the existing biodiversity record for bats on the site; a criticism of the duration of requisite activity and tree roost surveys and the accuracy of expressing their results; and failure to survey adequately for the status of certain species detected as present on the site. The quality of the interpretation and evaluation of the bat survey results in Appendix 10.1 (para. 5.13-5.14 and appendix 11) and the 'Main Report' (Environmental Statement Volume 1 - Main Report) is also criticised, as well as the accuracy of the latter's impact assessment and recommended mitigation strategy for the planning application.

The SBG's criticism of the survey methods in Appendix 10.1 (and appendix 11) is largely reconcilable. For example, surveys began relatively late in the field season due simply to the date of their commission. Some data were also lost (para. 2.17). Several of the criticisms concerning evaluation of the survey results can be attributed to variance in interpretation of the data; for example Appendix 10.1 concludes the site is of Local importance for bats, whereas the SBG asserts that its qualification under SNCI criteria therefore makes it of County importance. The SNCI criteria are overdue for review and it is likely that certain thresholds for qualification may change in response to better data on the relative status/distribution of species. The inconsistency in the cited number of recorded bat species is due to differences in accounting (only fully identified species are counted in the

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Appendix). Although there remain questions regarding the status of bats at the site, in view of the scale of the predictable impact of the planning application on bats, it is our opinion that the surveys were adequately scoped and eventually conducted.

Comments on Evaluation (paras. 5.1-5.19).

para. 5.10 (and Table 17). Arable field margins; the evaluation of the site as an IAPA by definition makes the site of national value, ie. more than county.

Please note we are unable to comment on the Badger survey results and evaluation as the relevant information has been redacted from Appendix 10.1 and its appendix 10.

Summary & discussion

This planning application proposes the installation of various key visitor infrastructure across the Langley Vale Centenary Woodland site. This infrastructure includes a car park and visitors' interpretation centre, a children's play area, a memorial area and a footpath/bridleway access network. This is designed to encourage an estimated 110,000 visitors to the site per annum.

The primary biodiversity/ecological/nature conservation interest feature of the application site is its assemblage of rare plants associated with the arable management of the former farm (of national importance). These plants are localized but can occur across the entire site, exclusively at the margins of the open arable fields. A detailed strategy for their future conservation within the context of the Langley Vale Centenary Wood has been thoroughly researched and its implementation has already begun. There are also a number of secondary interest features, including the presence of several declining breeding birds; an apparent interest for bats of indeterminate significance; and the general invertebrate assemblage.

The proposed visitor infrastructure has been carefully designed and its installation and future use can therefore be predicted to have a minimal impact on the current known biodiversity interest of the application site. Although not part of the consideration of this planning application, the eventual realisation of the overall vision for Langley Vale Centenary Wood is likely to benefit many of the above interest features and thus deliver a long-term biodiversity net gain here (Main Report para. 10.5.2). Moreover there will be significant opportunity to encourage an appropriate level of public engagement with this interest.

Relatively minor biodiversity impacts that have been identified and are summarised in the Main Report include; permanent loss of part of the Langley Bottom Farm SNCI, including some arable field margins and sections of hedgerow with mature trees in the vicinity of the car park and where the footpath network crosses the site; potential temporary atmospheric and noise pollution of part of the site during construction; potential temporary disturbance of wildlife (mainly badgers and bats) by severance of commuting corridors during construction; and potential

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disturbance of sensitive wildlife by visitors using the site when operational (including through artificial lighting of the visitors' interpretation centre). A series of credible, adequate mitigation measures is proposed, as well as extensive habitat replacement and creation, which will further reduce these impacts to a negligible significance.

Although not for consideration in this planning application, the habitat creation and restoration proposed by the Woodland Trust at Langley Vale Centenary Wood will make a significant contribution towards objectives and targets of the relevant Biodiversity Opportunity Area5 (ND04: North Downs; Epsom Downs to Nonsuch Park). Also, there is reason to agree with the Main Report's premise that the existence of a large, new natural open space recreational facility will divert some of the visitor pressure from other, more sensitive protected sites for biodiversity elsewhere in central Surrey.

Conclusion & recommendations:

The information available suggests that there is not a nature conservation reason for refusing this planning application. We would even suggest that a major element of the application might be subject to the national policy direction in respect of development proposals "...where the primary objective is to conserve or enhance biodiversity [and] should be permitted" (National Planning Policy Framework, section 118). We would also however, endorse various bodies' recommendations (including those of the Surrey Bat Group) to impose conditions to further enhance the mitigation strategy for the project.'

- 6.23 It is clear that the proposals bring social benefits which are an important consideration. In balancing this against the impact upon the wildlife habitats, the environmental impact must be assessed. The applicants have provided an Environmental Statement that concludes on biodiversity the proposal would result in '*beneficial effects*' upon wildlife and habitats. The Surrey Wildlife Trust have reviewed the information submitted and conclude that the proposal would not warrant refusal on the basis of harm to nature conservation, subject to conditions to further enhance the mitigation strategy for the project.
- 6.24 Overall, subject to conditions, the proposal is considered to comply with local and national policy in terms of conserving and enhancing the natural environment. The dual multi-user paths have been designed to minimise the ecological impacts by following the same route and avoiding further encroachment into the countryside. The long term strategy of the proposal has been highlighted as having a beneficial impact and subject to conditions to mitigate harm during the construction phase, and the long term management of the site, the proposal is considered acceptable in this regard.

Heritage

- 6.25 The site is not within a Conservation Area however, the Conservation Officer has noted the submerging of this rare, attractive and historic

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landscape, currently a patchwork of shaws and traditional field boundaries into a single woodland planted in regular rows is harmful to the historic landscape and to be regretted. The planting of broadleaf woodlands in regular rows is not reflective of the Yew prevalent woodland within the former Common Fields. Whilst a countryside park is to be welcomed, the planting of such a large woodland has been done without sufficient archive research into this historic landscape or measures to protect these existing features within the Walton Common Fields. The Conservation Officer is also concerned in terms of the urbanisation of the landscape in terms of hardstandings and buildings as well the potential for other intrusive signage, such the large feather flags.

- 6.26 A condition is recommended that would require a report on the historic landscape to be submitted and approved in writing by the local planning authority setting out relevant historic records, maps and sources as well as relevant archaeological data with analysis of such sources. This will set out how historic field boundaries and other historic landscape features will be retained and interpreted, including management of such field boundaries and hedgerows to maintain their distinctiveness within and adjacent to areas of new planting, including a timetable for implementation of such measures. Where approved, the recommendations of this report will be implemented within the agreed timetable and ongoing in the case of maintenance and management unless otherwise agreed in writing by the LPA.

Impact on trees

- 6.27 The Council's Tree Officer was consulted upon the proposal and raised particular concern over the impact the scheme will have on Round Wood, specifically the use of above ground soil surfacing to formalise the proposed footpath through the woodland. The Tree Officer was unable to gain access to the wood but walked along the footpath to the east of the woodland. A desktop assessment of the arboricultural report by Simon Jones Associates report, dated November 2017, reference SJA air 1516-01c was also undertaken. The report identifies the relevant constraints the trees will have on such a scheme and identifies the relevant measures necessary to ensure there is minimal impact on the trees. The report makes reference in to an unmade track (para 3.2.12), but is not a recognised footpath. The report acknowledges the need to remove small trees to create the footpath through the wood and propose to use above ground soil surface product which protect the rooting environment from compaction.
- 6.28 Whilst Round Wood is not classified as ancient semi natural woodland or any nationally designated site by dividing may have an impact on future forest species to exist because of they rely on connected and extensive environment. Consideration should be given to an alternative route, for example following the edge of the woodland and reconnecting with the proposed route on the western side of the wood. The footpath route also follows the edge of Little Hurst Wood and therefore will not result in its fragmentation.

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- 6.29 The Applicant has responded to these comments and noted this route has been chosen to avoid incursion into areas of rare species of plants. The route through Round Wood would be surfaced in the same material as the wider path network to ensure a navigatable path in all weathers, however is proposed to be laid onto the existing ground surface to prevent the need for excavation and prevent any impact on the roots in this area.
- 6.30 On balance, the proposal is not considered so harmful in this respect as to warrant refusal, when considering the overall tree planting to be provided. The route through the woodland would prevent impact upon rare species of plants and the section of path would not be excavated so as to avoid impact on routes in this area.

Highway matters

- 6.31 The subject for consideration for Reigate and Banstead Borough Council is the proposed multi-user paths. The County Highways Authority have reviewed the site as a whole and has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway. The County Highway Authority therefore has no highway requirements subject to conditions.
- 6.32 The proposed conditions relate largely relate to the car park and new access within MVDC. The application before MVDC was determined on 5th June 2019 whereby they Planning Committee approved the application subject to conditions.
- 6.33 With regard to the proposed highway conditions, the condition that would be relevant to attach to a grant of consent for the multi user paths would be that which relates to construction transport management and this is proposed within the listed conditions to ensure in order that the development should not prejudice highway safety nor cause inconvenience to other highway users.
- 6.34 The CHA notes:

'Walking and Cycling connectivity - in relation to sustainable travel modes, it is noted that the level and provision of cycle parking should be revised. It is not clear why unsheltered Sheffield stands are proposed in the main car park, some distance from the proposed visitor centre. Further, the number of stands proposed does not meet the number of cycle trips advised. The CHA recommend that this amenity should look to be amended and provide a more focused strategy to promote both cycle and walking access. Elements to consider are: increased provision of sheltered cycle stands that are secure and ideally closer to the proposed visitor centre and improving the shared footway link to ensure they connect to the wider highway network. The applicant has not provided a revised strategy on sustainable access, instead choosing to state the application is only in connection to the car park

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and new access. The CHA identify that all alternative modes of travel should be investigated and only residual vehicle impacts accommodated. This amenity aspect continues to be highlighted, that the current proposals are reliant on car use and provide little in the way of supporting and promoting sustainable access, in relation to walking and cycling links.

Accessibility - Similar to the above, the application is very much focused on private car access to support the potential outline proposal for the visitor centre. It is noted that with the proposed car park is located at the furthest point away from local bus and rail connections, within the site. This point has been flagged by the CHA from the very outset of the site considerations. In terms of internal movement, the applicant has sought to respond by detailing how improved footways and bridle ways (surfaced and informal) would be provided (EAS ref:SK01 Rev A, dated 06/06/2017) as part of the application. In the revised information submitted, the applicant has continued to present the same plan, but has sought to detail how the improved internal path network provides routes that connect to the wider network. The CHA have reviewed this plan and consider that further improvements can be made to enhance the surfaced links to improve the sustainable connections to the wider network.'

- 6.35 The proposed multi-user paths do not have a direct, hard surfaced link to the proposed hard surfaced paths within EEBC and the car park within MVDC. The CHA has raised concern over the connectivity of the proposal. The Applicant has responded on this point and stated the multi-user paths are deliberately not linked to the car park so as to separate user groups. The proposed woodland is not designed to encourage cyclists/mountain biking in and around the memorial area. The Woodland Trust is proposing to create a number of informal, unsurfaced paths within the woodland to provide greater connectivity.
- 6.36 The CHA have not raised an objection on this basis and whilst the lack of direct connectivity of the multi-user paths to the car park is considered negatively, overall the proposal is not considered to warrant refusal on this basis. The connection to the car park would require new paths within the EEBC and therefore cannot be conditioned as it is outside of RBBC.

Neighbour amenity

- 6.37 The proposed multi-user paths are sited approximately 150m to the west of the rear boundaries of the dwellings in Whitebeam Way. Given this generous level of separation, the proposal is not considered to give rise to a harmful impact upon the amenities of these dwellings,
- 6.38 The closest properties to the proposal are riding stables and a stud farm in Ebisham Lane. The proposed footpaths would not give rise to a harmful impact upon the amenities of these dwellings due to the separation distances. The equestrian footpaths would provide increased access to off road paths for users of the farm and stables.

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- 6.39 The Environmental Statement proposes a Construction Environmental Management Plan to be agreed through an appropriately worded condition prior to the commencement of development on site and this is considered necessary to avoid disturbance to nearby properties and upon the environment and is not considered to result in a harmful impact in terms of noise or air pollution.
- 6.40 No external lighting is proposed and this would be further controlled by way of a suitably worded condition.

Archaeology

- 6.41 The siting of the proposed paths does not include any Areas of High Archaeological Potential. During the course of the application a particular area of concern was the area around Nutshambles, the site of the proposed car park, that had been identified through surveys conducted prior to submission of the application. Further survey work was undertaken and results submitted. The County Archaeologist has concluded he is satisfied with the archaeological survey results and considers that the area of the proposed car park has a low potential to contain any Heritage Assets of archaeological significance and no further survey work is required.

Drainage

- 6.42 The site is in Flood Zone one, at lowest risk of flooding. The multi-user paths will not be formally surfaced but will comprise of self-binding gravel on a granular sub base. This will allow water to permeate through to the ground below and replicate the natural behaviour of the land. Surrey County Council, as the Lead Local Flood Authority, has confirmed no objection to the proposal subject to a recommended condition. The proposal is therefore considered acceptable in this regard.

Associated applications in Mole Valley District Council and Epsom and Ewell Borough Council

- 6.43 The whole site for the proposed Centenary Woodland straddles the boundaries of RBBC, EEBC and MDVC.
- 6.44 The proposed car park and parts of the hard surfaced paths fall within MVDC, and the proposed visitor centre, memorial area, play area and some hard surfaced paths (all in outline) fall within EEBC.
- 6.45 As the vehicle site access and parking area are essential to the overall proposal, it was agreed that MVDC would determine their planning application before the two neighbouring authorities. The application was presented to the MVDC Planning Committee on 5th June 2019 where they resolved to grant the planning application subject to conditions. EEBC are due to present their planning application to their Planning Committee on 27th June 2019.

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Conclusion

- 6.46 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that planning applications must be determined in accordance with the development plan unless material considerations indicate otherwise. The National Planning Policy Framework (NPPF) is a material planning consideration.
- 6.47 This is a joint hybrid application that covers Reigate and Banstead Borough Council, Epsom and Ewell Borough Council and Mole Valley District Council for the creation of a permanent car park, overflow car park, cycle parking, new access to Headley Road, gates, height restrictor, ticket machine, CCTV, hard surfaced paths, multi-user paths and memorial area, including sculptures. Also, in outline, the erection of a visitors' centre and play space, including play equipment, and associated infrastructure for use in relation to Langley Vale Wood - Centenary Woodland for England.
- 6.48 The application is supported by an Environmental Statement (ES) that assesses the potential impact of the Centenary Woodland proposals across the wider site and recommends mitigation measures. The ES covers the following issues and specifies a level of environmental impact in relation to each one:- transport and access; noise and vibration; Air Quality; Biodiversity; Hydrology, Hydrogeology and Drainage; Landscape and Visual Amenity; Archaeology and Built Heritage; Agricultural Land and Socio-Economics. Officers concur with the level of impact for each of these issues as set out in the ES.
- 6.49 In conclusion, the proposal is considered to provide opportunity for increased access to the countryside, and associated leisure and recreation through the use of the paths. The proposal would provide social and environmental benefits to the local and wider community being of national importance. The proposal has been assessed in terms of the elements discussed above in the report and is considered to be compliant with local and national policy. The application is recommended for approval subject to conditions.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Site Layout Plan	LANGLEY_004		15.12.2017

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Site Layout Plan	LANGLEY_002		15.12.2017
Site Layout Plan	LANGLEY_008		15.12.2017
Site Layout Plan	LANGLEY_009		15.12.2017
Proposed Plans	EIA-002		15.12.2017
Site Layout Plan	EIA-001		15.12.2017
Arboricultural Plan	LANGLEY_005		15.12.2017
Arboricultural Plan	EIA-003		15.12.2017
Site Layout Plan	EIA-004		15.12.2017
Detailed Technical Plan	EIA-005		15.12.2017
Site Layout Plan	EIA-007		15.12.2017
Site Layout Plan	EIA-006		15.12.2017
Detailed Technical Plan	EIA-010		15.12.2017
Elevation Plan	EIA-009		15.12.2017
Site Layout Plan	EIA-011		15.12.2017
Site Layout Plan	EIA-013		15.12.2017
Site Layout Plan	EIA-012		15.12.2017
Site Layout Plan	LANGLEY_010		15.12.2017
Site Layout Plan	LANGLEY_001		15.12.2017
Arboricultural Plan	SJA TL 15163-03.0		15.12.2017
Arboricultural Plan	SJA TL 15163-03.1		15.12.2017
Arboricultural Plan	SJA TL 15163-03.2		15.12.2017
Arboricultural Plan	SJA TL 15163-03.3		15.12.2017
Arboricultural Plan	SJA TL 15163-03.4		15.12.2017
Arb / Tree Protection Plan	SJA TPP 15163-03.0	D	15.12.2017
Arb / Tree Protection Plan	SJA TPP 15163-03.1	D	15.12.2017
Arb / Tree Protection Plan	SJA TPP 15163-03.2	D	15.12.2017
Arb / Tree Protection Plan	SJA TPP 15163-03.3	D	15.12.2017
Arb / Tree Protection Plan	SJA TPP 15163-03.4	D	15.12.2017
Location Plan	LANGLEY_012		15.01.2018
Site Layout Plan	EIA-012		07.12.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall commence until a Construction Transport Management Plan, to include details of
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) HGV deliveries and hours of operation
 - (g) vehicle routing, avoiding Farm Lane, Park Lane and Headley Road to the south
 - (h) measures to prevent the deposit of materials on the highway
 - (i) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused by construction vehicles accessing the site

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(j) no construction movements (including HGVs) to or from the site shall take place between the hours of 8.00 and 9.00 am and 3.00 and 4.00 pm nor shall the contractor permit any HGVs associated with the development at the site to be laid up, waiting, in Headley Road, Downs Road, Langley Vale Road, Farm Lane and Park Lane during these times

(k) on-site turning for construction vehicles has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

4. Prior to the commencement of development, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved, in writing, by the Local Planning Authority. The Plan shall include appropriate measures to control noise and dust emissions. Thereafter the approved Plan shall be implemented and adhered to throughout the entire construction period. The Plan shall provide details as appropriate, and as a minimum shall consider the following matters: Measures to mitigate on site noisy activities and demonstrate Best Practical Means including the assessment, control, monitoring and reporting of noise impacts in accordance with BS 5228 Code of practice for noise and vibration control on construction and open sites • A scheme of dust monitoring and management • Details of how environmental data will be recorded and reported and details of complaint recording and management system and Contact details for both day time and out of hours complaints

Reason:

To ensure minimal nuisance or disturbance is caused to the detriment of the amenities of adjoining occupiers and of the area generally to satisfy Policy CS10 Sustainable Development of RBBC Core Strategy (2014).

5. Prior to the commencement of development, a survey of the site by an appropriately qualified ecologist shall be undertaken, to check for any new signs of badger sett construction on site. If any changes in badger activity is detected, such as new sett construction, a suitable course of action shall be submitted to and approved in writing by the local planning authority.

Reason:

To ensure the protection of the protected species with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G, Reigate and Banstead Core Strategy 2014 policy CS2, and the NPPF.

6. A 20m buffer zone shall be maintained between any construction activity (including building materials, vehicles and workers) and the badger sett entrances. The applicant shall ensure that commuting routes and access to other badger setts and foraging grounds are not obstructed. Any deep excavations left overnight shall be provided with a ramped means of escape and stockpiles of soft materials shall be covered overnight to prevent badgers excavating new setts.

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Reason:

To ensure the protection of the protected species with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G, Reigate and Banstead Core Strategy 2014 policy CS2, and the NPPF.

7. Before works commence, a report on the historic landscape shall be submitted and approved in writing by the local planning authority setting out relevant historic records, maps and sources as well as relevant archaeological data with analysis of such sources. This will set out how historic field boundaries and other historic landscape features will be retained and interpreted, including management of such field boundaries and hedgerows to maintain their distinctiveness within and adjacent to areas of new planting, including a timetable for implementation of such measures. Where approved, the recommendations of this report will be implemented within the agreed timetable and ongoing in the case of maintenance and management unless otherwise agreed in writing by the LPA.

Reason:

To ensure that the historic landscape is maintained with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc1.

8. The development hereby permitted shall not commence until details of the nature conservation, mitigation strategy, compensation and enhancement actions specific to the development within the Borough of Reigate and Banstead has been submitted to and approved in writing by the Local Planning Authority.

Reason:

To ensure the protection of the protected species with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G and Reigate and Banstead Core Strategy 2014 policy CS2, and the NPPF.

9. No floodlights or other forms of external lighting shall be installed on the site.

Reason:

To protect the amenities of the locality, including the amenities of neighbouring residential properties, in accordance with Reigate and Banstead Borough Local Plan policy Re2.

10. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the planning authority. Those details shall include:

- a) A design that satisfies the SuDS Hierarchy and that is compliant with the national Non-Statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS.
- b) The results of infiltration testing completed in accordance with BRE:365.
- c) Detailed drawings to include: a finalised drainage layout detailing the location of SuDS elements, pipe diameters, levels, details of how SuDS elements will be protected from root damage and long and cross sections of each SuDS element including details of any flow restrictions and how they will be protected from blockage.
- d) Details of Management and Maintenance regimes and responsibilities

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Reason:

To ensure the design meets the national Non-Statutory Technical Standards for SuDS and the final drainage design does not increase flood risk on or off site.

11. Prior to the commencement of development approved by this planning permission, the following components of a scheme to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the Local Planning Authority:
- 1) A preliminary risk assessment which has identified:
 - All previous uses
 - Potential contaminants associated with those uses
 - A conceptual model of the site indicating sources, pathways and receptors
 - Potentially unacceptable risks arising from contamination of the site
 - 2) A site investigation scheme, based on (1) to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.
 - 3) The results of the site investigation and detailed risk assessment referred to in (2) and, based on these, an option appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
 - 4) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (3) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action. Any changes to these components require the express consent of the Local Planning Authority. The scheme shall be implemented as approved.

Reason:

For the protection of Controlled Waters. The site is located over a Principal Aquifer and no information as been provided with regards to the potential for ground contamination to be present with regards Reigate and Banstead Borough Local Plan policy Ut4 and Re2.

12. If, during development, contamination no previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted and obtained written approval from the Local Planning Authority for, a remediation strategy detailing how this unsuspected contamination shall be dealt with. The remediation strategy shall be implemented as approved, verified and reported to the satisfaction of the Local Planning Authority.

Reason:

To ensure that the proposed development and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Local Plan 2005 Policies Ut4 and Pc2G and the NPPF.

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13. Prior to occupation of the development, a verification report demonstrating completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved in writing the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include a plan (a "long term monitoring and maintenance plan") for longer term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, if appropriate, and for the reporting of this to the Local Planning Authority. Any long-term monitoring and maintenance plan shall be implemented as approved.

Reason:

Should remediation be deemed necessary, the applicant should demonstrate that any remedial measures have been undertaken as agreed and the environmental risks have been satisfactorily managed so that the site is deemed suitable for use with regards Reigate and Banstead Borough Local Plan policy Ut4 and Re2.

14. Whilst the principles and installation of sustainable drainage schemes are to be encouraged, no drainage systems for the infiltration of surface water drainage into the ground are permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to Controlled Waters. The development shall be carried out in accordance with the approved details.

Reason:

Infiltrating water has the potential to cause remobilisation of contaminants present in shall soil/made ground which could ultimately cause pollution to groundwater with regards Reigate and Banstead Borough Local Plan policy Ut4 and Re2.

15. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason:

The developer should be aware of the potential risks associated with piling where contamination is an issue. Piling or other penetrative methods of foundation design on contaminated sites can potentially result in unacceptable risks to underlying groundwaters with regards Reigate and Banstead Borough Local Plan policy Ut4 and Re2.

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs

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- Saturday and not at all on Sundays or any Public and/or Bank Holidays;
- (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

2. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
3. The Environment Agency recommend that where soil contamination is present, a risk assessment is carried out in accordance with their guidance 'Piling into Contaminated Site'. The Environment Agency will not permit piling activities on parts of a site where an unacceptable risk is posed to Controlled Water.
4. The applicant site is situated on or in close proximity to land that could be potentially contaminated by virtue of previous historical uses of the land. As a result there is the potential for a degree of ground contamination to be present beneath part(s) of the site. Groundworkers should be made aware of this so suitable mitigation measures and personal protective equipment measures (if required) are put in place and used. Should significant ground contamination be identified the Local Planning Authority should be contacted promptly for further guidance.

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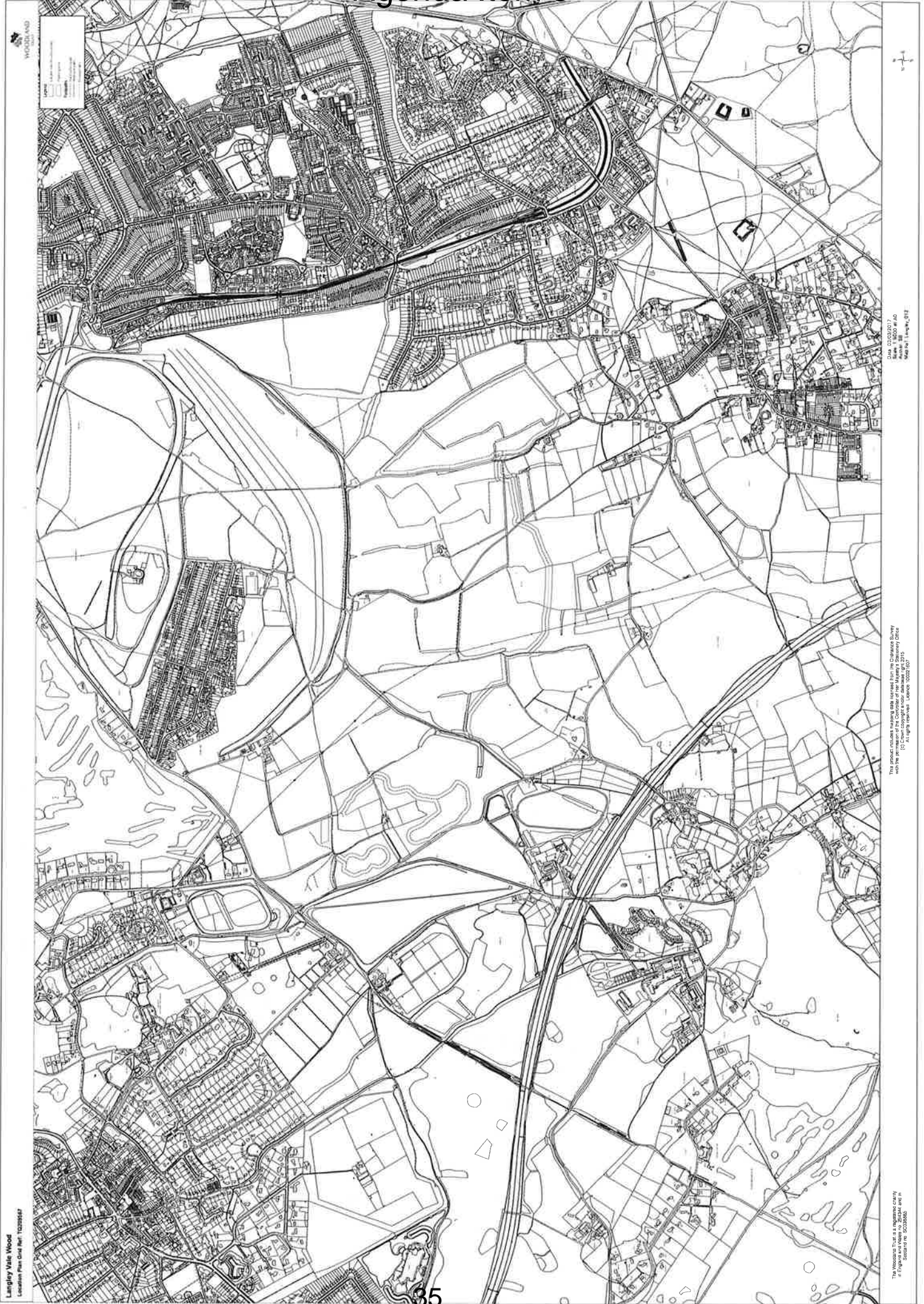
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies Pc1, Pc2G, Pc3, Pc4, Pc5, Pc6, Pc8, Pc9, Pc 10, Co1, Co2, Re2, Re5, Re8, Cf2, Cf3, Mo4, Mo5, Mo6, Mo7, Mo12, Mo13, CS1, CS3, CS4, CS10, CS11, CS12, and CS17 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies Pc1, Pc2G, Pc3, Pc4, Pc5, Pc6, Pc8, Pc9, Pc 10, Co1, Co2, Re2, Re5, Re8, Cf2, Cf3, Mo4, Mo5, Mo6, Mo7, Mo12, Mo13, CS1, CS3, CS4, CS10, CS11, CS12, and CS17 and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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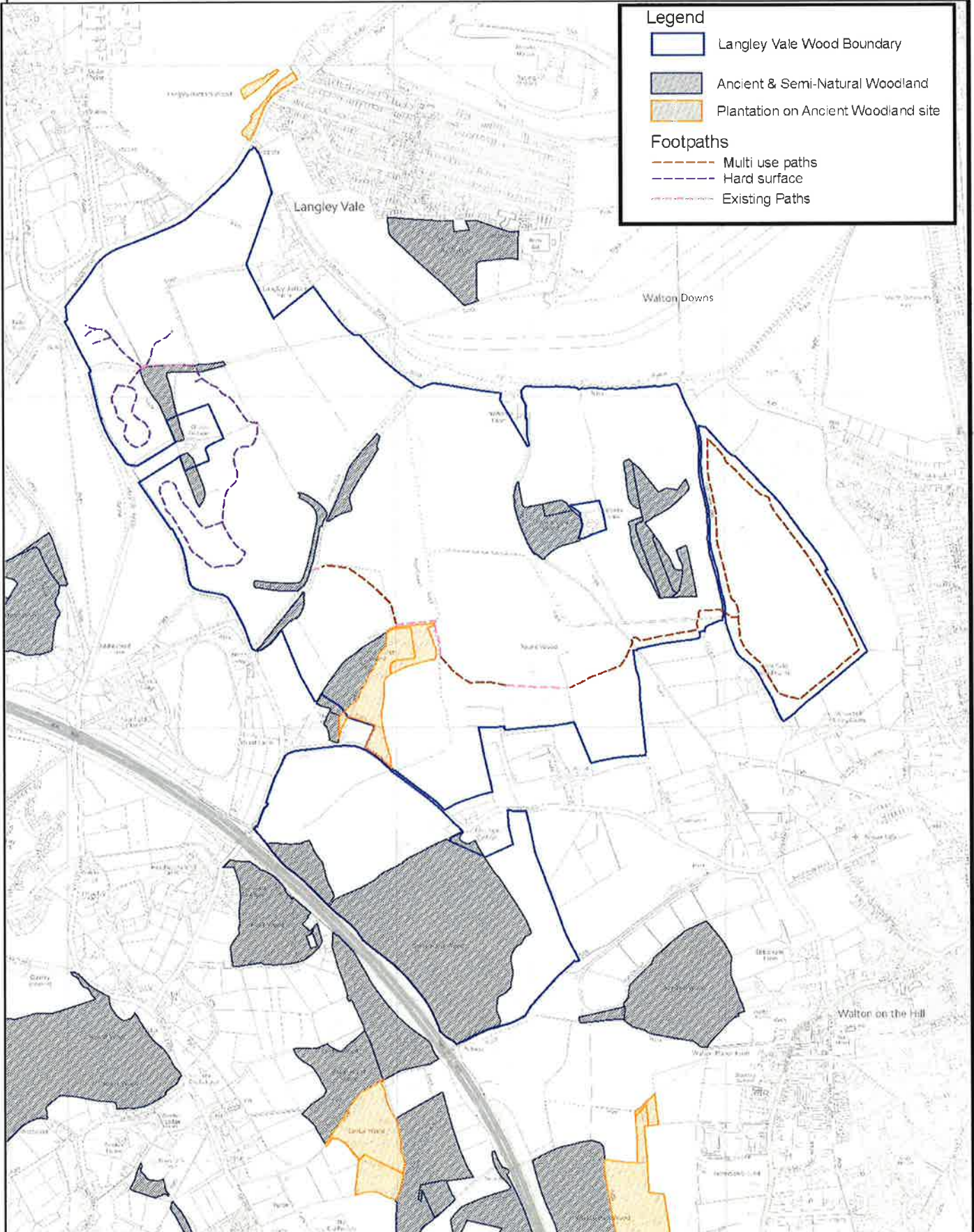
Langley Vale Wood
Location Plan Dist Ref: 1020658

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Agenda Item 5

Langley Vale Wood Ancient Woodland



Legend

- Langley Vale Wood Boundary
- Ancient & Semi-Natural Woodland
- Plantation on Ancient Woodland site

Footpaths

- Multi use paths
- Hard surface
- Existing Paths

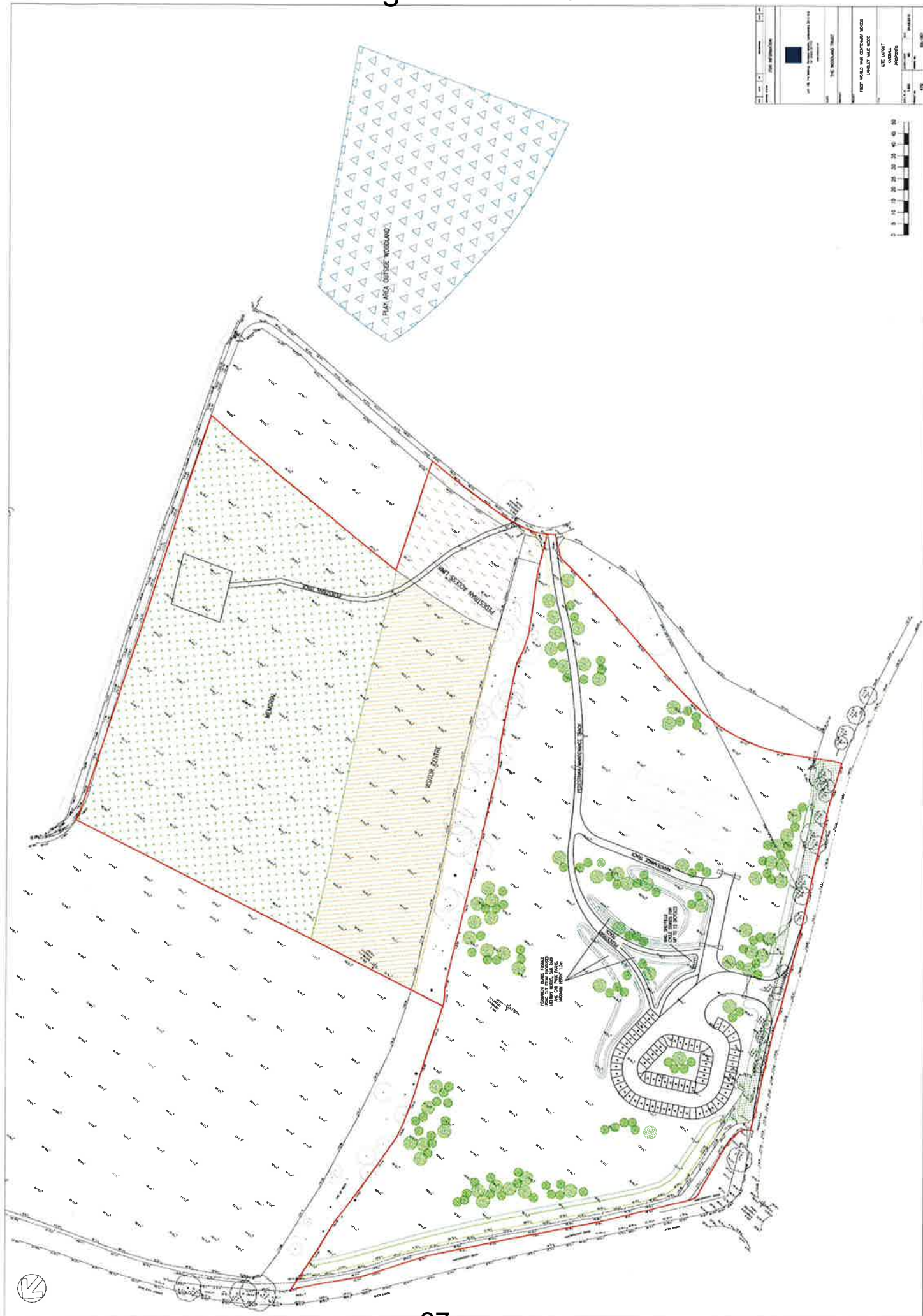
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Date: 01/03/2017
Scale: 1:15,000 at A4
Author: SB
Map Ref: Langley_010



Agenda Item 5



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- KEY:**
- MIXED NATIVE HEDGE HEDG. (SILVER BIRCH, HORNbeam, FIELD MARSH, COCK SPUR, SILVER BIRCH TREES EVERY 1m)
 - NATIVE WOODLAND (MISCELLANEOUS)
 - LOW NATIVE SHRUBS
 - GRASS WITH MIDSUMMER AND COPSES OF NATIVE TREES
 - GRASS, LOW SPRIGS AND WILFLOWER
 - COPSE OF NATIVE TREES

Maintenance Schedule

Area	Planting	Planting Date	Planting Method	Planting Density	Planting Spacing	Planting Notes
Visitor Centre	Native Trees	2023	Hand-planted	1000	2m x 2m	Planting in groups of 5-10 trees.
Visitor Centre	Native Shrubs	2023	Hand-planted	500	1m x 1m	Planting in groups of 5-10 shrubs.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 trees.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 shrubs.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 trees.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 shrubs.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 trees.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 shrubs.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 trees.
Visitor Centre	Grass	2023	Machine-laid	1000	1m x 1m	Grass seed laid in groups of 5-10 shrubs.

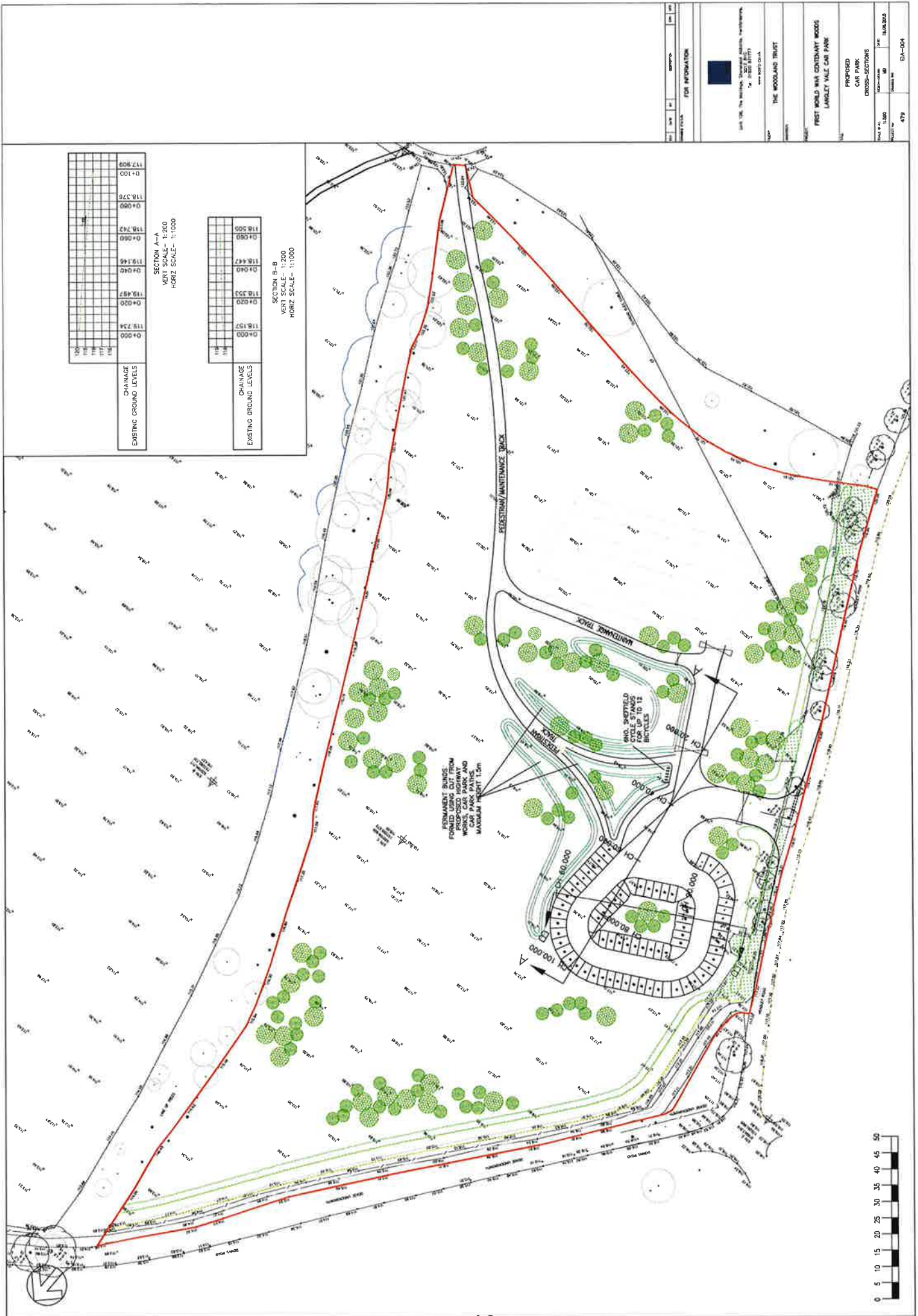
MAINTENANCE STRATEGY

THE TREES WILL BE PLANTED AS WHIPS WITH THE TRUNKS PROTECTED BY TREE GUARDS AND REGULAR BRONING. THE MAINTENANCE FOR THE WOODLAND AREAS WILL BE TO CUT AROUND THE TREES TO MAINTAIN THE OPEN SPACE. ALL THE TREES HAVE PROPERLY ESTABLISHED. THIS WILL REDUCE NEED COMPETITION ANY TREE THAT DOES NOT SHEDD WILL BE REPLACED.

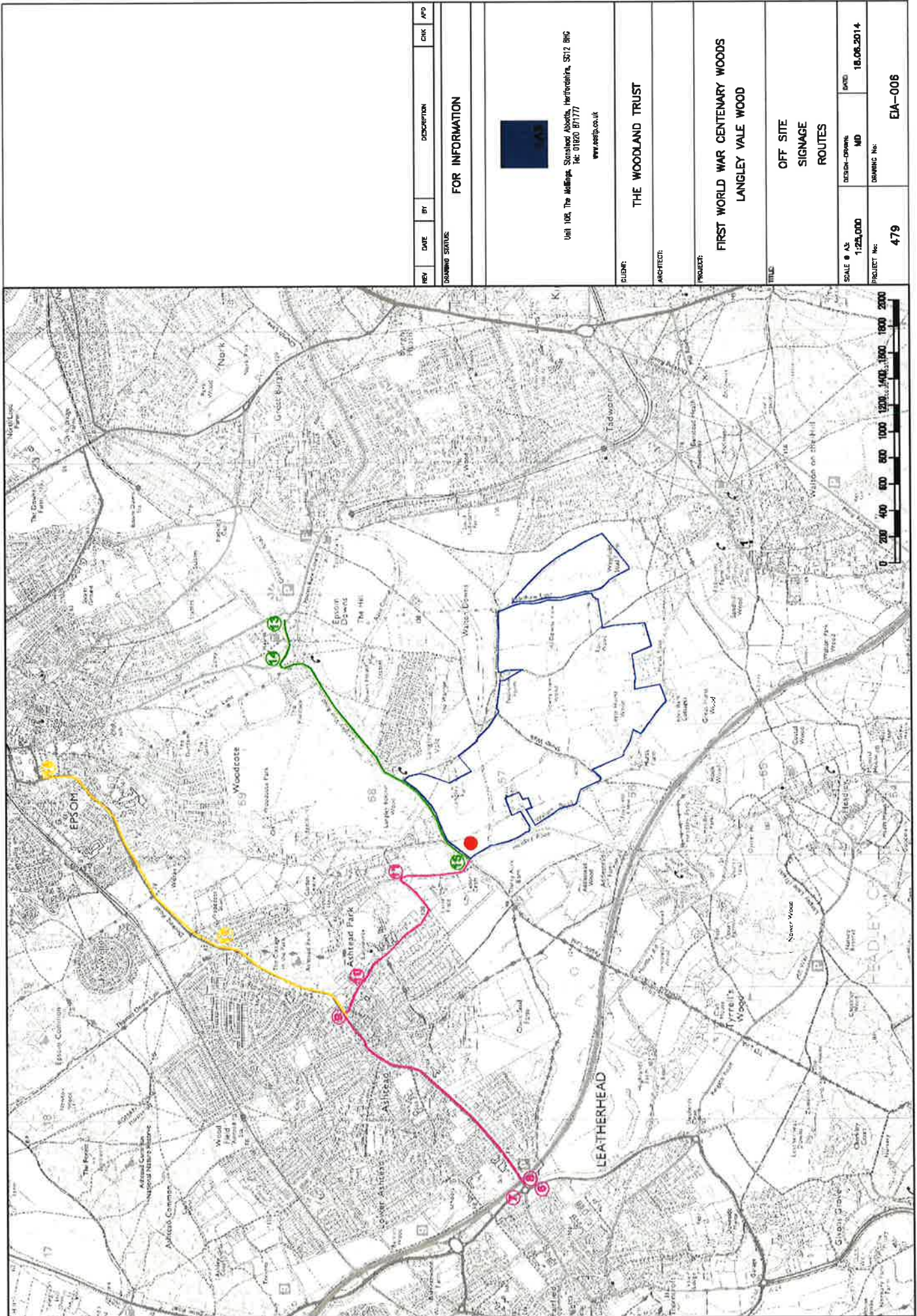
THE BRASSIARD AREAS WILL BE CUT ONCE PER YEAR TO MAINTAIN THE OPEN SPACE. THE CUTTINGS REMOVED FROM THE AREA TO PROMOTE THE REGENERATION OF THE SOIL AS IS RECOMMENDED APPROVED FOR OTHER BRASSIARDS.


Project Name	Client	Project No.	Scale	Date	Sheet No.
FOR INFORMATION	THE WOODLAND TRUST	479	1:1000	07/02/2019	DA-003

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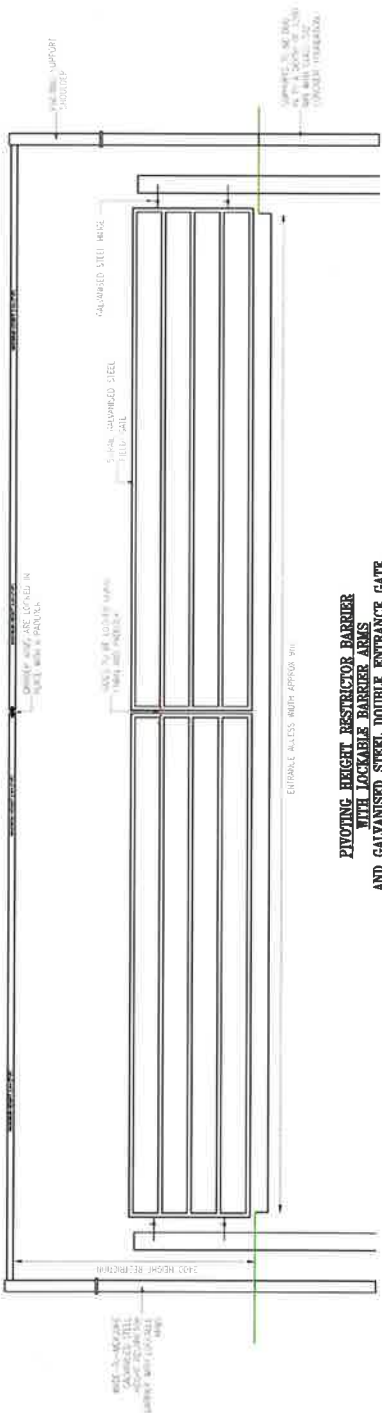


REV	DATE	BY	DESCRIPTION	CHK	APP
FOR INFORMATION					
					
CLIENT: THE WOODLAND TRUST PROJECT: FIRST WORLD WAR CENTENARY WOODS LANGLEY VALE WOOD TITLE: OFF SITE SIGNAGE ROUTES SCALE: A3 1:25,000 DESIGN-DRAWN: MD DATE: 18.06.2014 PROJECT No: 479 DRAWING No: EIA-006					

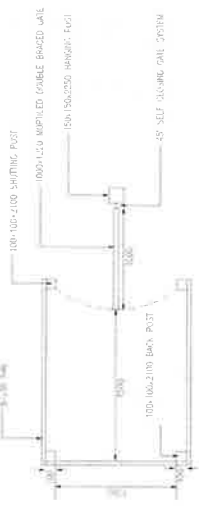
Agenda Item 5



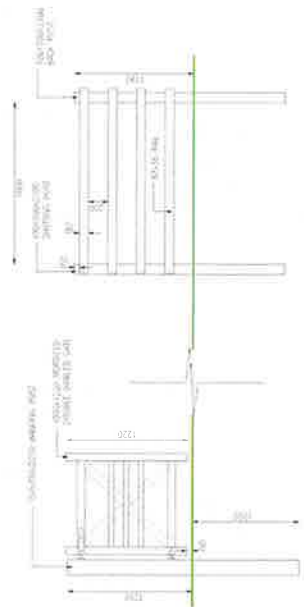
FOR INFORMATION	
DATE	10/25/2011
PROJECT	THE WOODLAND TRUST
CLIENT	FIRST WORLD WIDE CONTINENTAL WOODS LANDLIFT WALK CAR PARK
DESCRIPTION	NEW PROPOSED SITE ACCESS WOODS OUTSIDE OF THE NO DEVELOPMENT AREA
SCALE	1:500
DATE	20/08/11
NO.	479
CODE	EA-C02



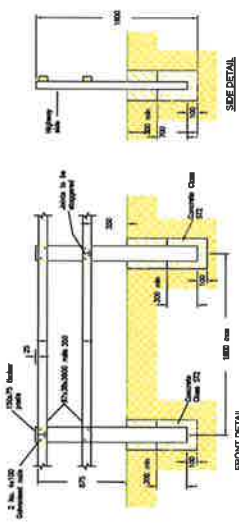
PIVOTING HEIGHT RESTRICTOR BARRIER WITH LOCKABLE BARRIER ARMS AND GALVANIZED STEEL DOUBLE ENTRANCE GATE
NTS



TIMBER KISSING GATE FOR PEDESTRIAN/DISABLED USERS
1:25

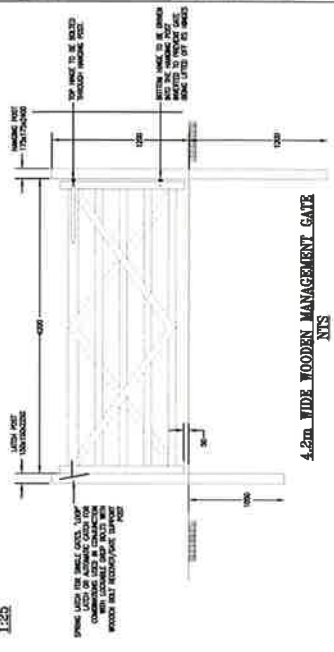


SIMPLE ROADWAY/HOOSE GATE
NTS



- Notes:**
- All dimensions in millimeters unless otherwise stated.
 - Material not mentioned to be in accordance with BS 1722 part 7.
 - All timber and pressure treatment to be in accordance with the specification.
 - When specifying, specify to be in accordance with the specification.
 - All posts to be set in 300 dia. holes that may be drilled in suitable ground 400 dia. in particular of the Project.
 - Posts set in 300 dia. tapered holes shall be finished with suitable pressure treatment being well incorporated in the hole. The hole shall be filled with concrete to the top of the hole and the hole shall be 400 dia. Concrete Class C25.

TWO RAIL WOODEN FENCE
1:25

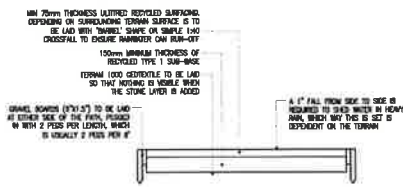


4.2m WIDE WOODEN MANAGEMENT GATE
NTS

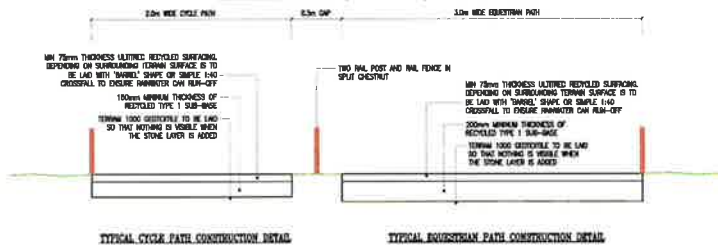
FOR INFORMATION	DATE	BY	NO.
<p>THE WOODLAND TRUST</p> <p>FIRST WORLD WAR CENTENARY WOODS LANSLEY VALE CAR PARK</p> <p>TYPICAL FENCING AND GATE DETAILS</p> <p>AS SHOWN</p> <p>16 JANUARY</p> <p>EA-008</p>			

Agenda Item 5

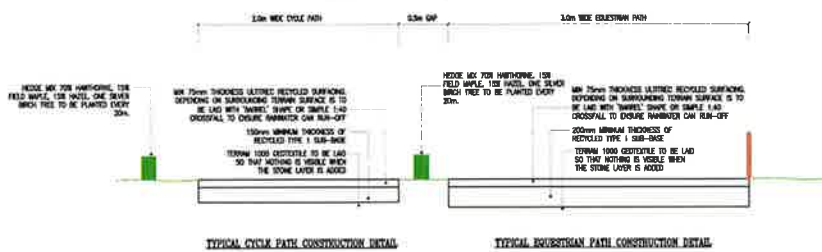
HARD SURFACED PEDESTRIAN PATH DETAIL



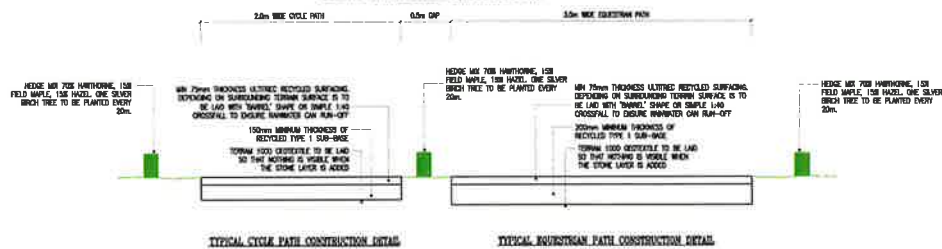
BLUE PATH DETAIL (MULTI-USER)



RED PATH DETAIL (MULTI-USER)

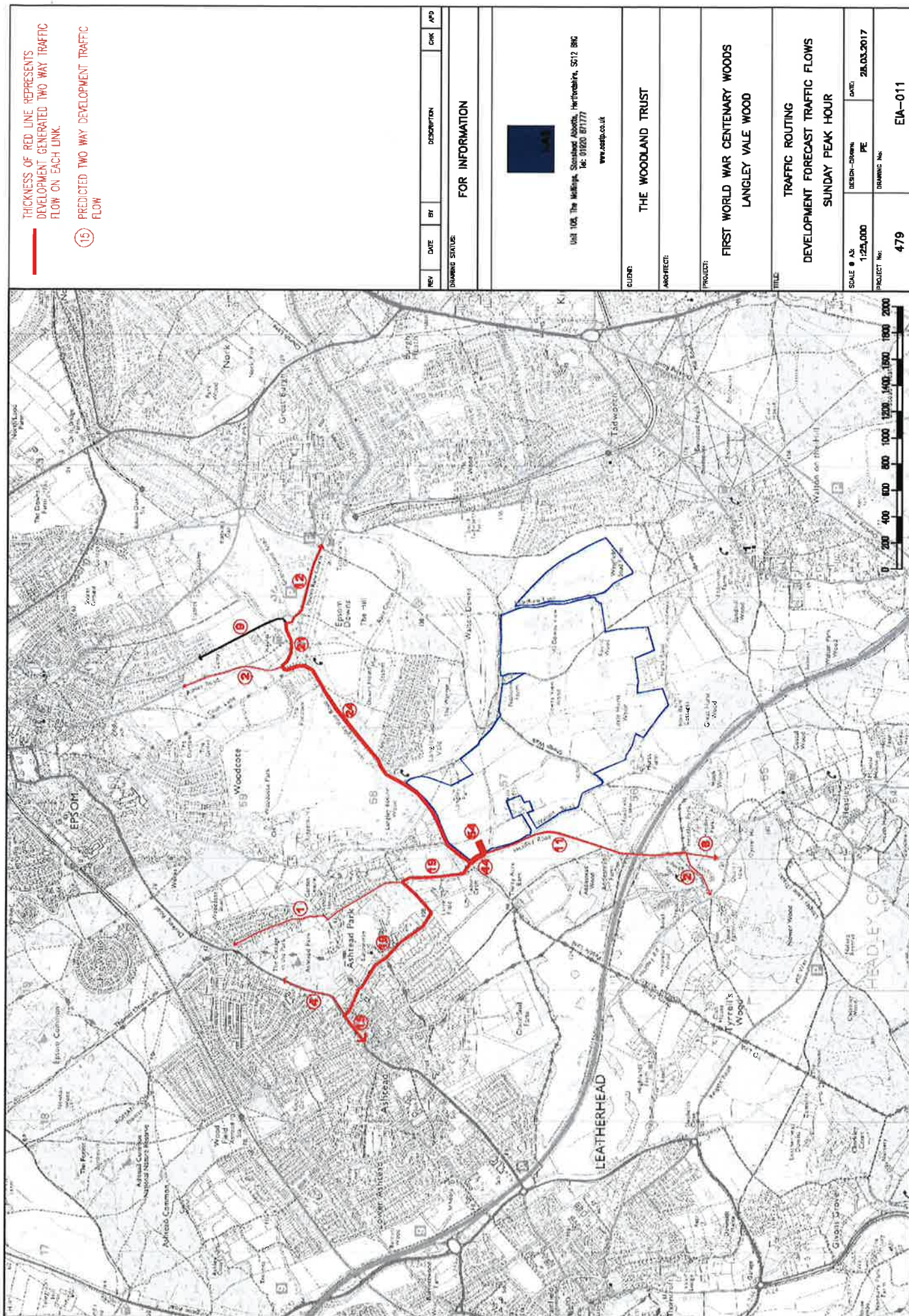



GREEN PATH DETAIL (MULTI-USER)



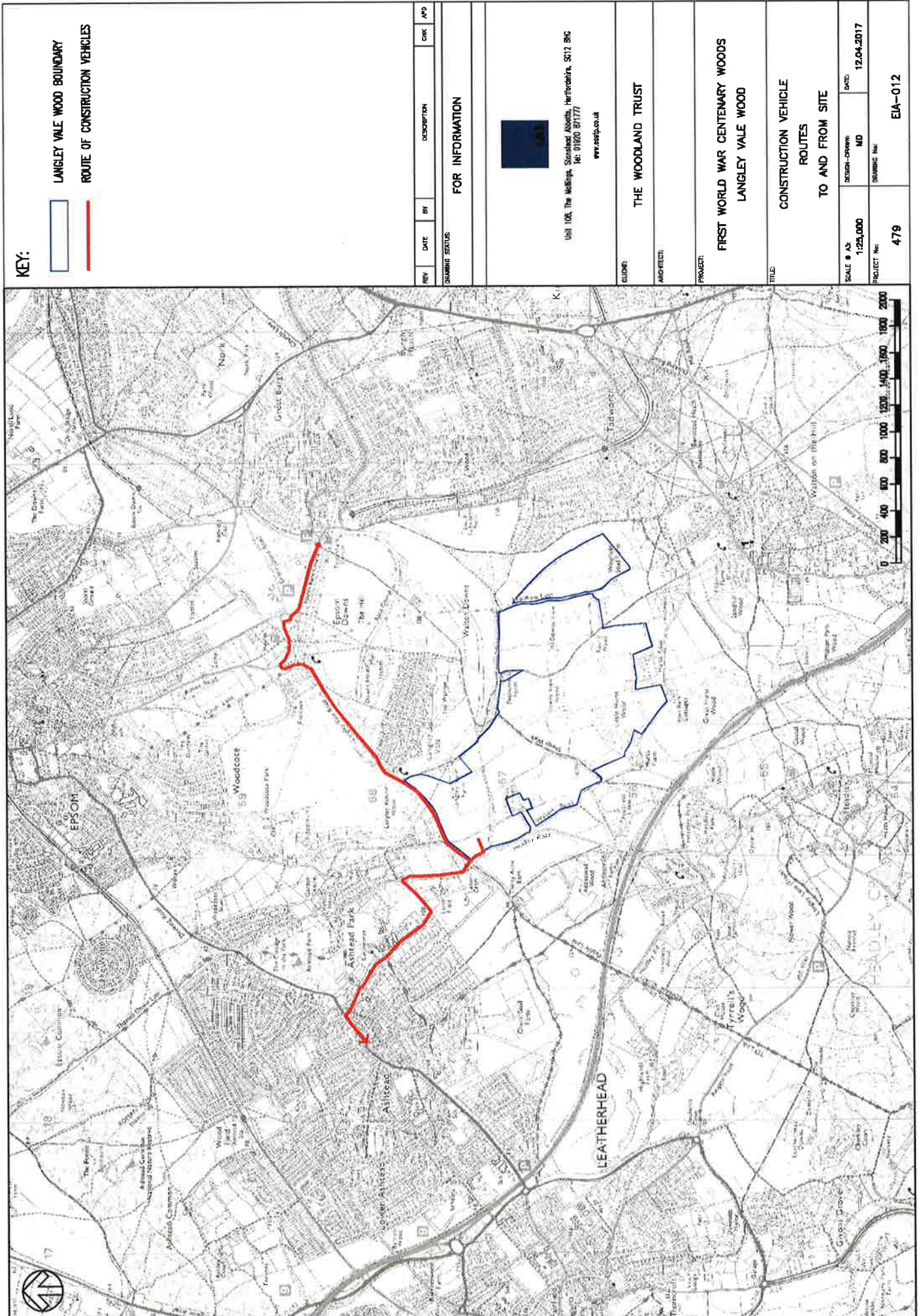
FOR INFORMATION	
 EAS Environmental Assessment Services	
THE WOODLAND TRUST	
FIRST WORLD WAR CENTENARY WOODS LANGLEY VALE CAR PARK	
TYPICAL WOODLAND PATHS CROSS-SECTIONS	
1:25	40
16.03.2017	
EA-010	

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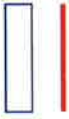


REV	DATE	BY	DESCRIPTION	CHK	APP
FOR INFORMATION					
					
UH1 106, The Milling, Stansfeld Asholds, Hertfordshire, SG12 8HG Tel: 01820 871777 www.woodlandtrust.co.uk					
CLIENT: THE WOODLAND TRUST					
ARCHITECT:					
PROJECT: FIRST WORLD WAR CENTENARY WOODS LANGLEY VALE WOOD					
TITLE: TRAFFIC ROUTING DEVELOPMENT FORECAST TRAFFIC FLOWS SUNDAY PEAK HOUR					
SCALE @ A3:	DESIGN-DRAWN:	PE	DATE:		
1:25,000			28.03.2017		
PROJECT No:	DRAWING No:				
479				EIA-011	

Agenda Item 5



KEY:



LANGLEY VALE WOOD BOUNDARY

ROUTE OF CONSTRUCTION VEHICLES

REV	DATE	BY	DESCRIPTION	CHK	APP

FOR INFORMATION



UNIT 106, The Milling, Stouffed Abbots, Hertfordshire, SG17 8HG
Tel: 01820 871777
www.wooland.co.uk

CLIENT: THE WOODLAND TRUST

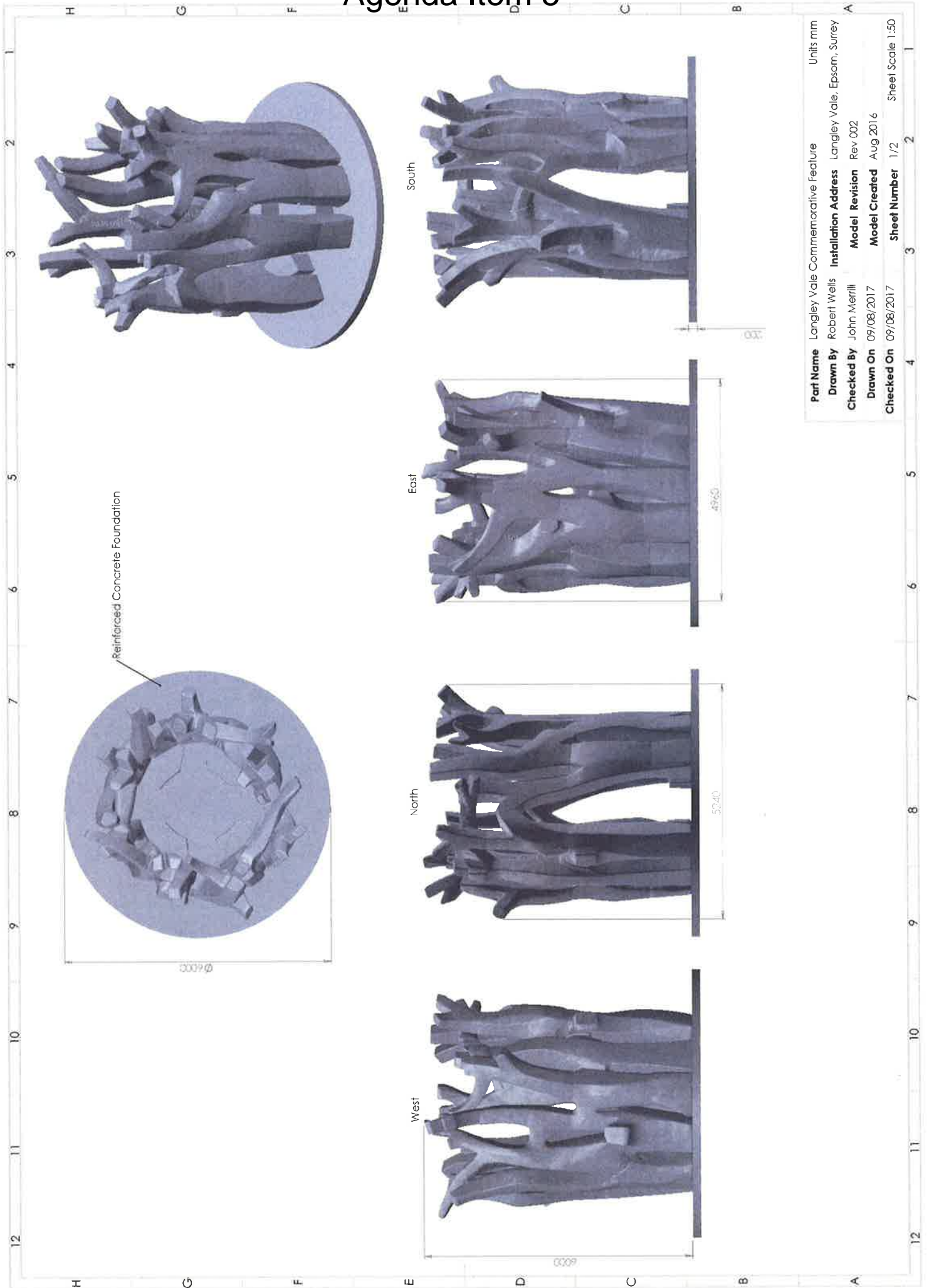
ARCHITECT:

PROJECT: FIRST WORLD WAR CENTENARY WOODS
LANGLEY VALE WOOD

TITLE: CONSTRUCTION VEHICLE
ROUTES
TO AND FROM SITE

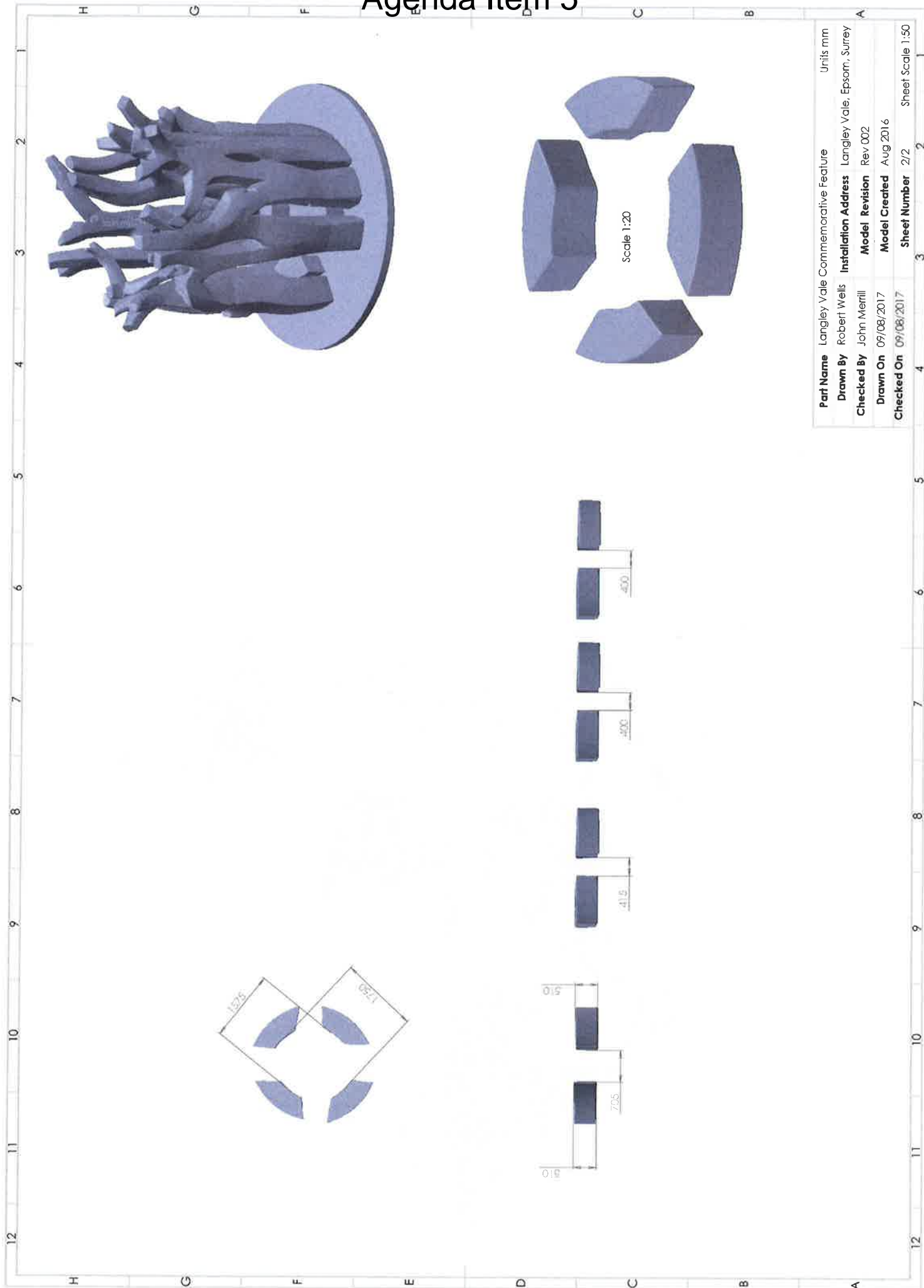
SCALE @ A3:	DESIGN-DRAWN:	DATE:
1:25,000	MD	12.04.2017
PROJECT No:	DRAWING No:	
479	EIA-012	

Agenda Item 5



Part Name	Langley Vale Commemorative Feature	Units	mm
Drawn By	Robert Wells	Installation Address	Langley Vale, Epsom, Surrey
Checked By	John Merrill	Model Revision	Rev.002
Drawn On	09/08/2017	Model Created	Aug 2016
Checked On	09/08/2017	Sheet Number	1/2
		Sheet Scale	1:50

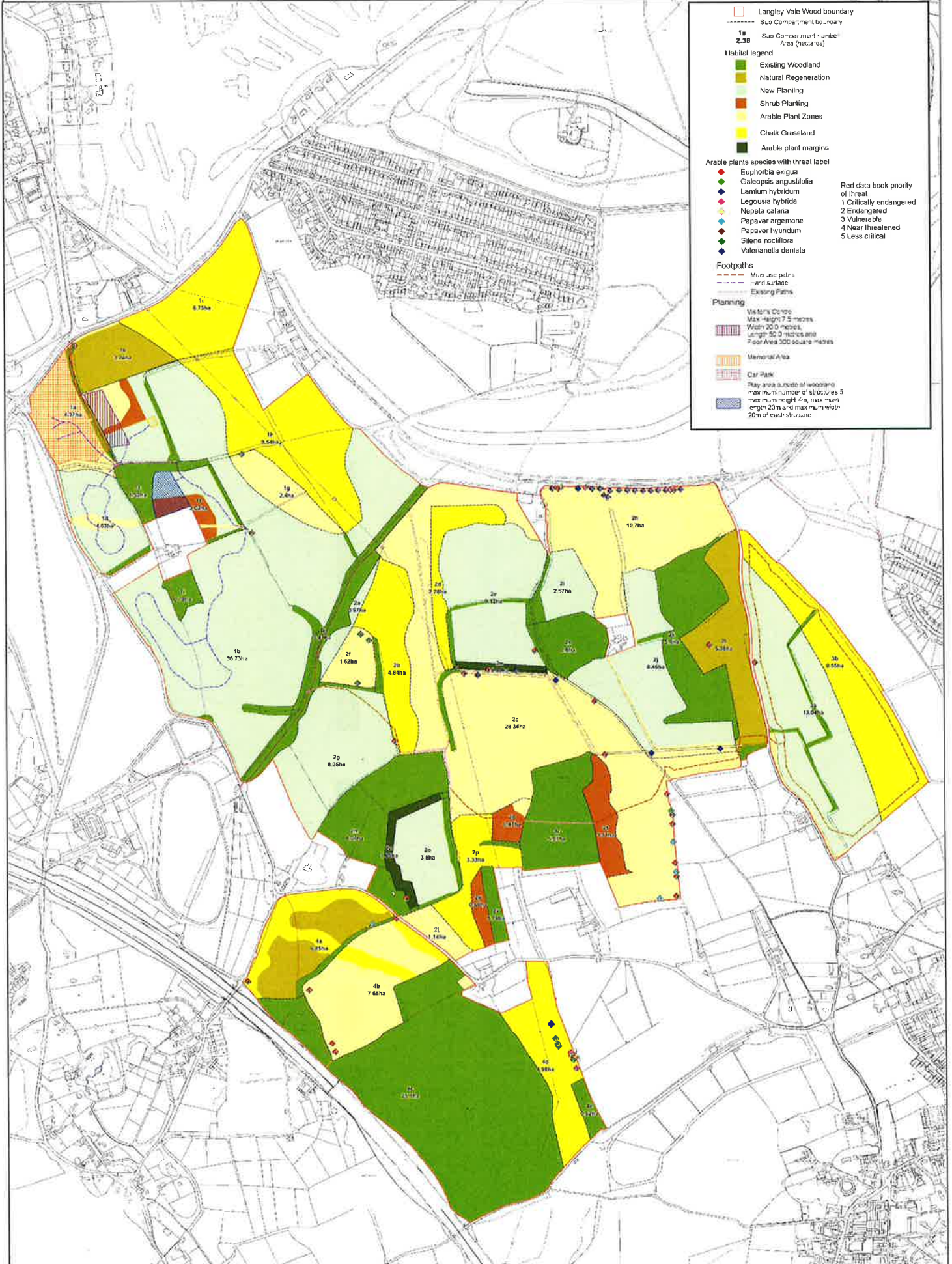
Agenda Item 5



Part Name	Langley Vale Commemorative Feature	Units	mm
Drawn By	Robert Wells	Installation Address	Langley Vale, Epsom, Surrey
Checked By	John Merrill	Model Revision	Rev 002
Drawn On	09/08/2017	Model Created	Aug 2016
Checked On	09/08/2017	Sheet Number	2/2
			Sheet Scale 1:50

Agenda Item 5

Langley Vale Wood
Indicative Master Plan



Langley Vale Wood boundary
 - - - - - Sub Compartment boundary

1a
2,3b Sub Compartment number
 Area (hectares)

Habitat legend

- Existing Woodland
- Natural Regeneration
- New Planting
- Shrub Planting
- Arable Plant Zones
- Chalk Grassland
- Arable plant margins

Arable plants species with threat label

- Euphorbia exigua
- Galeopsis angustifolia
- Lamium hybridum
- Legousia hybrida
- Nepeta cataria
- Papaver argemone
- Papaver hybridum
- Silene noctiflora
- Valerianella dentata

Red data book priority of threat

- 1 Critically endangered
- 2 Vulnerable
- 3 Enlarged
- 4 Near threatened
- 5 Less critical

Footpaths

- Mud use paths
- Hard surface
- Existing Paths

Planning

Victoria Centre
 Max height 7.5 metres
 Width 20.0 metres
 Length 50.0 metres and
 Floor Area 500 square metres

Memorial Area

Car Park
 Play area outside of woodland
 max num number of structures 5
 max num height 4m, max num
 width 20m and max num width
 20m of each structure

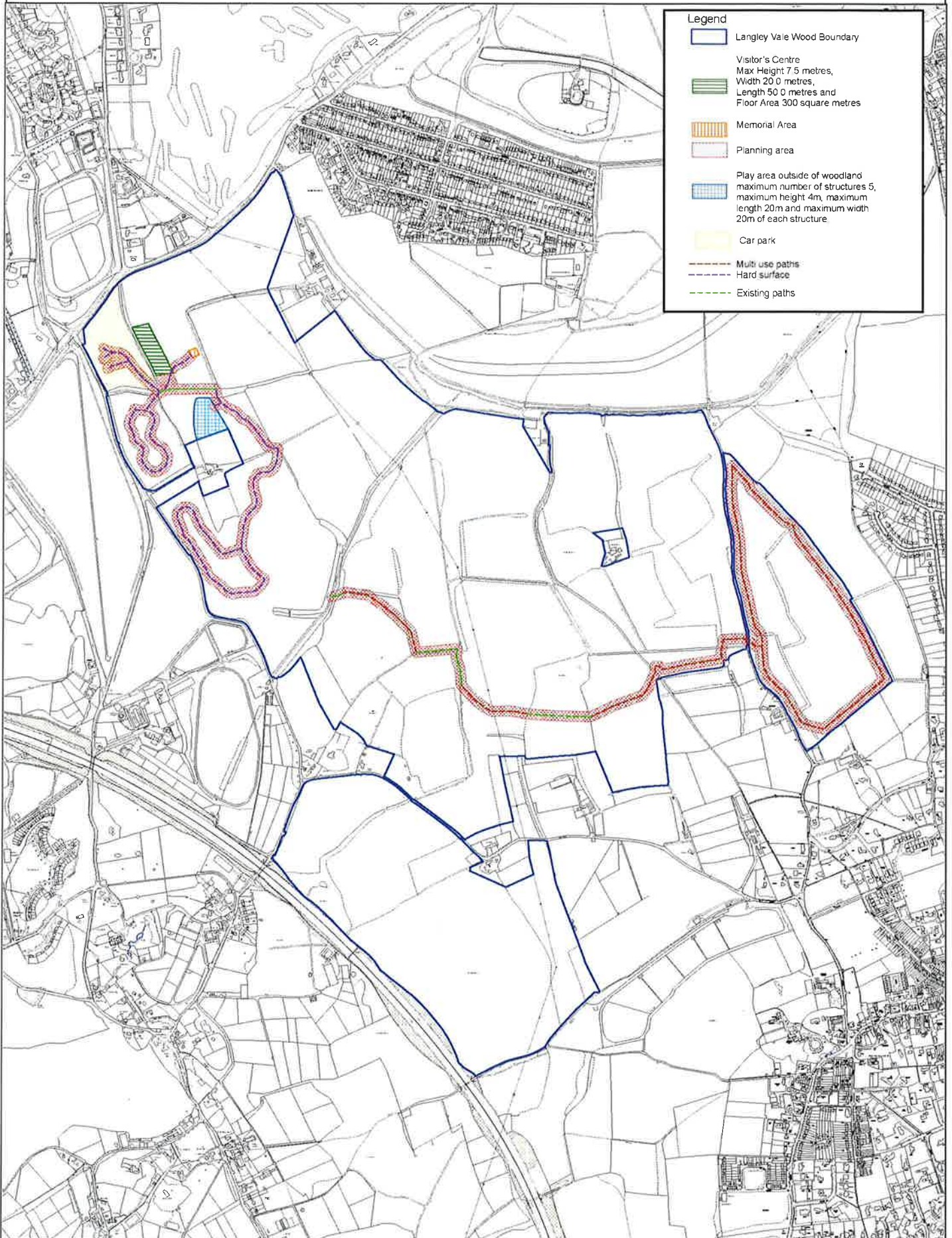
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 Langley Vale Wood, 2024. All rights reserved.
 52

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Date: 10/01/2024
 Name: 10/01/2024
 Author: SH
 Woodland Trust

Agenda Item 5

Langley Vale Wood Layout Plan



Legend

- Langley Vale Wood Boundary
- Visitor's Centre
Max Height 7.5 metres,
Width 20.0 metres,
Length 50.0 metres and
Floor Area 300 square metres
- Memorial Area
- Planning area
- Play area outside of woodland
maximum number of structures 5,
maximum height 4m, maximum
length 20m and maximum width
20m of each structure
- Car park
- Multi use paths
- Hard surface
- Existing paths

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Date 16/08/2017
Scale 1:10,000 at A3
Author SB
Map Ref Langley_001



Agenda Item 5

WOODLAND
CALIFORNIA

Legend

- Proposed
- Existing
- Other



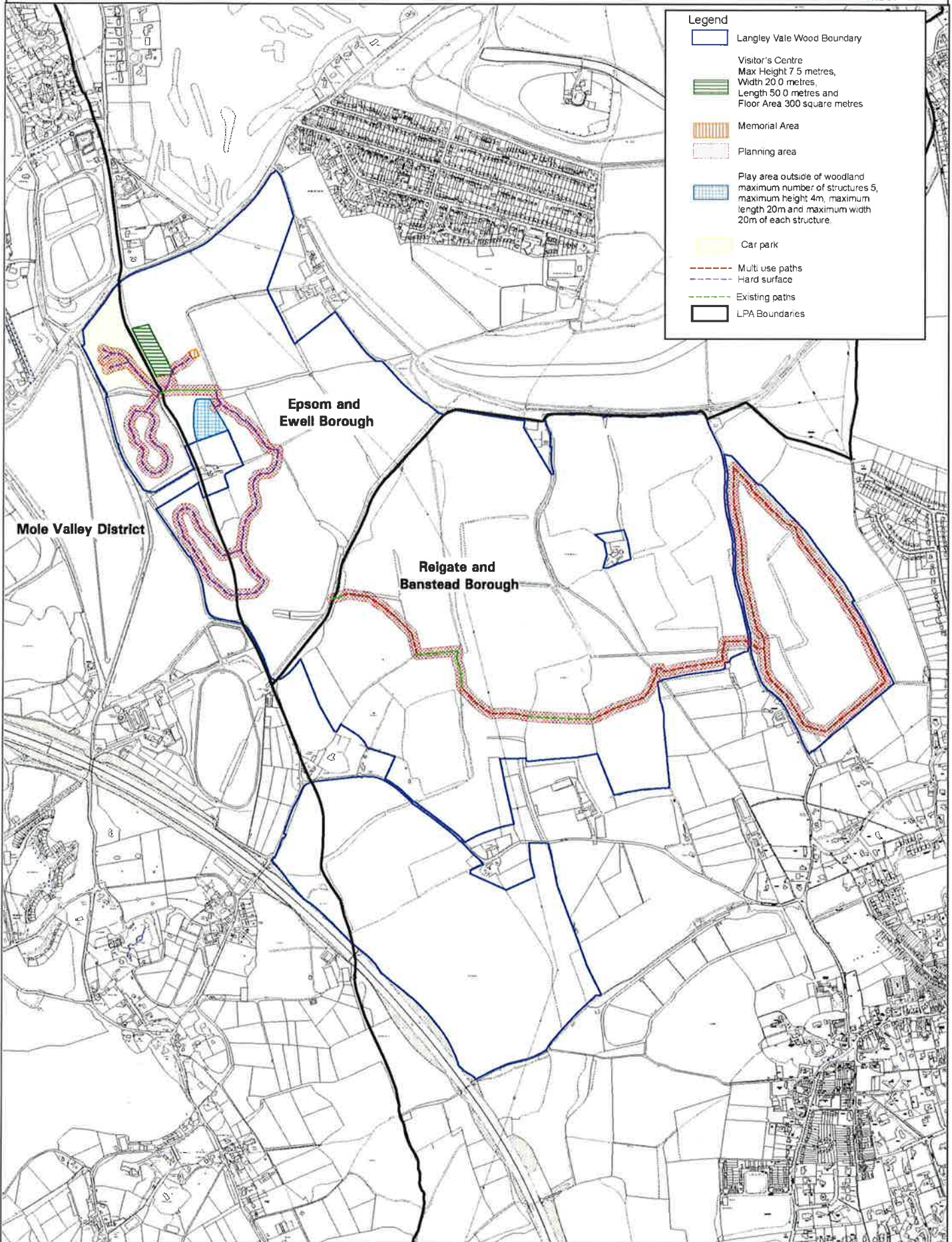
Langley Vale Wood
Location Plan Ord. No. 120058P

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Agenda Item 5

Langley Vale Wood Layout Plan and LPA Boundaries



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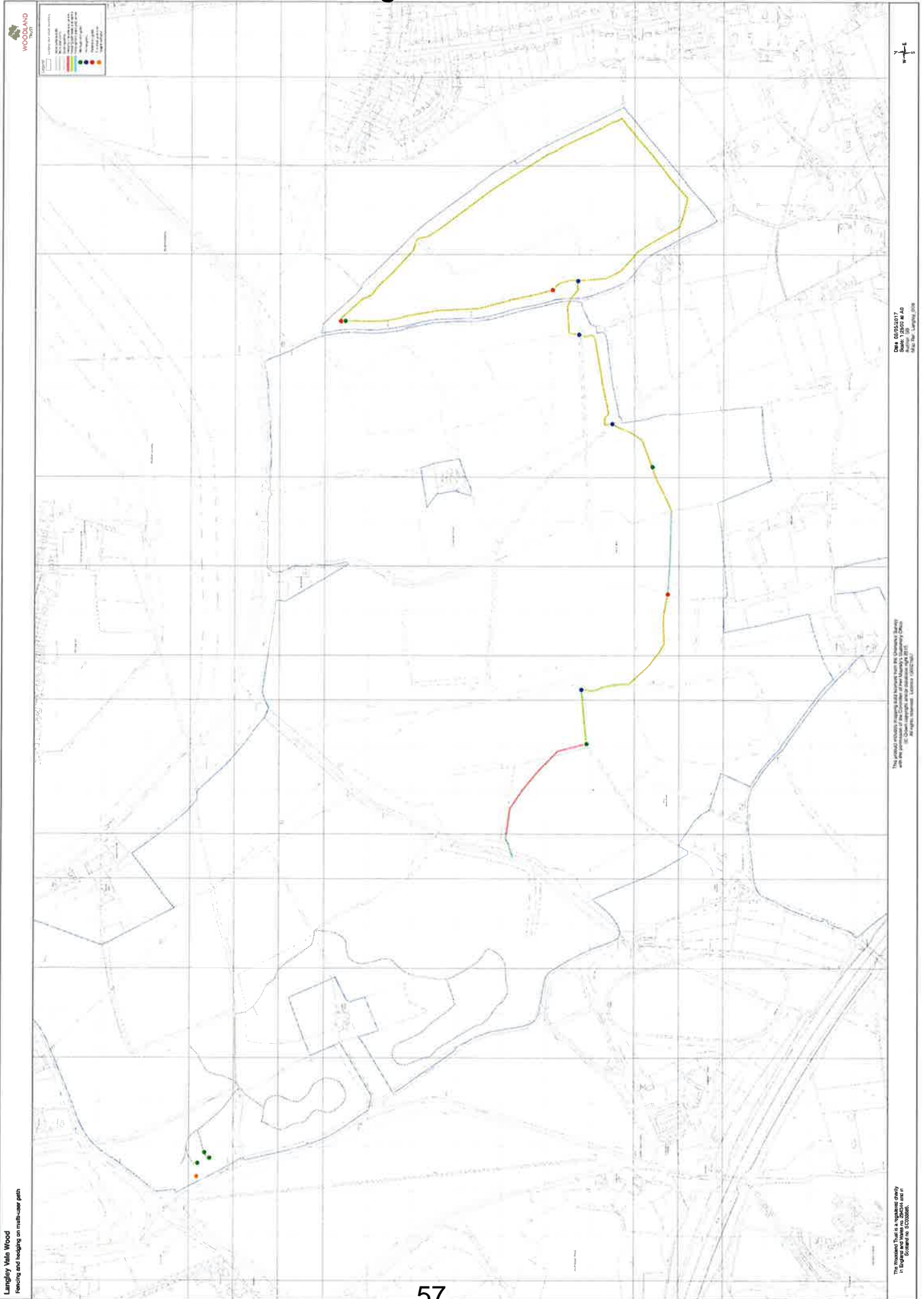
Date 16/08/2017
Scale 1:10,000 at A3
Author SR
Map Ref Langley_002



Agenda Item 5



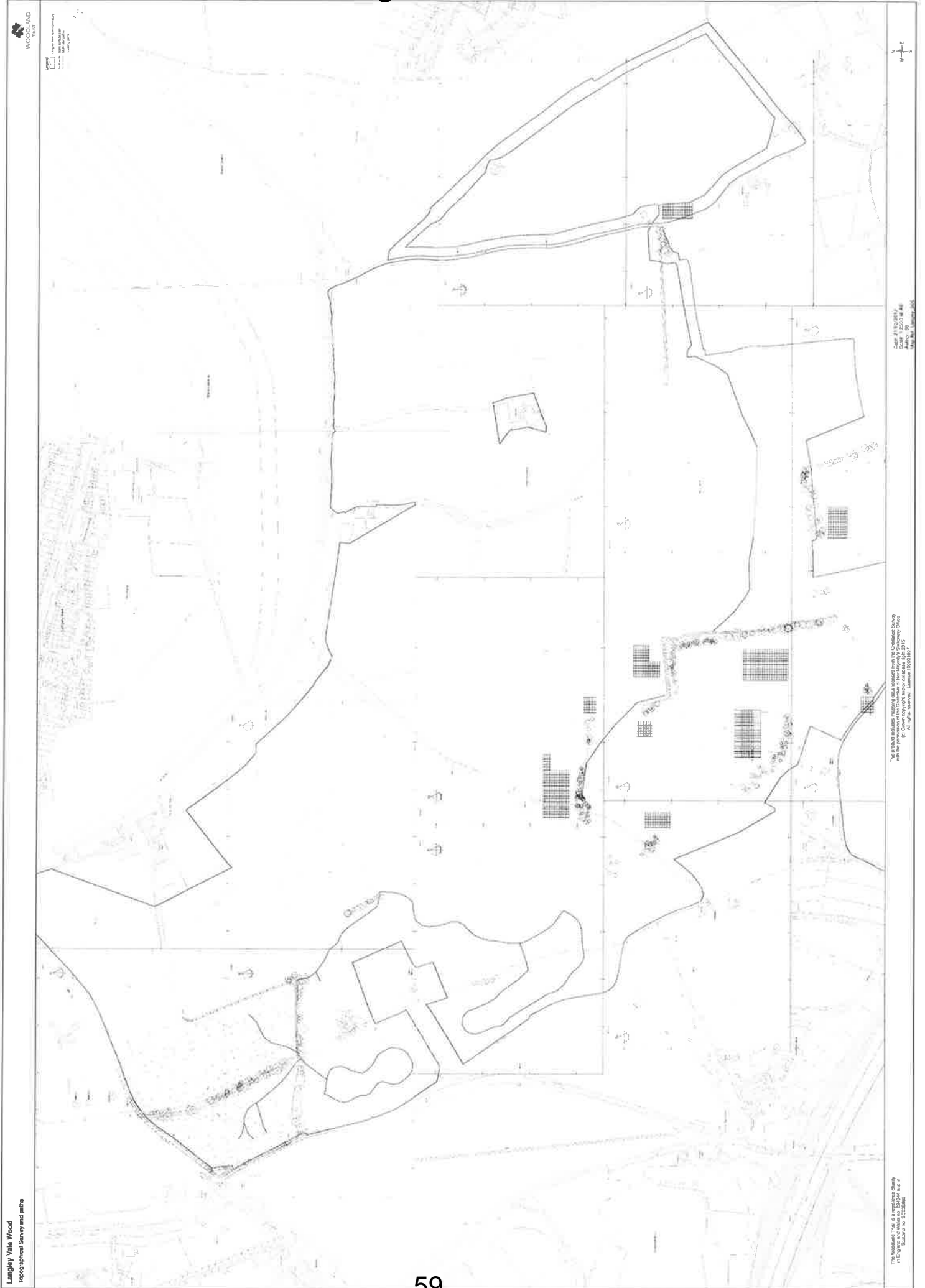
Agenda Item 5



Agenda Item 5



Agenda Item 5



Langley Vale Wood
Topographical Survey and plans

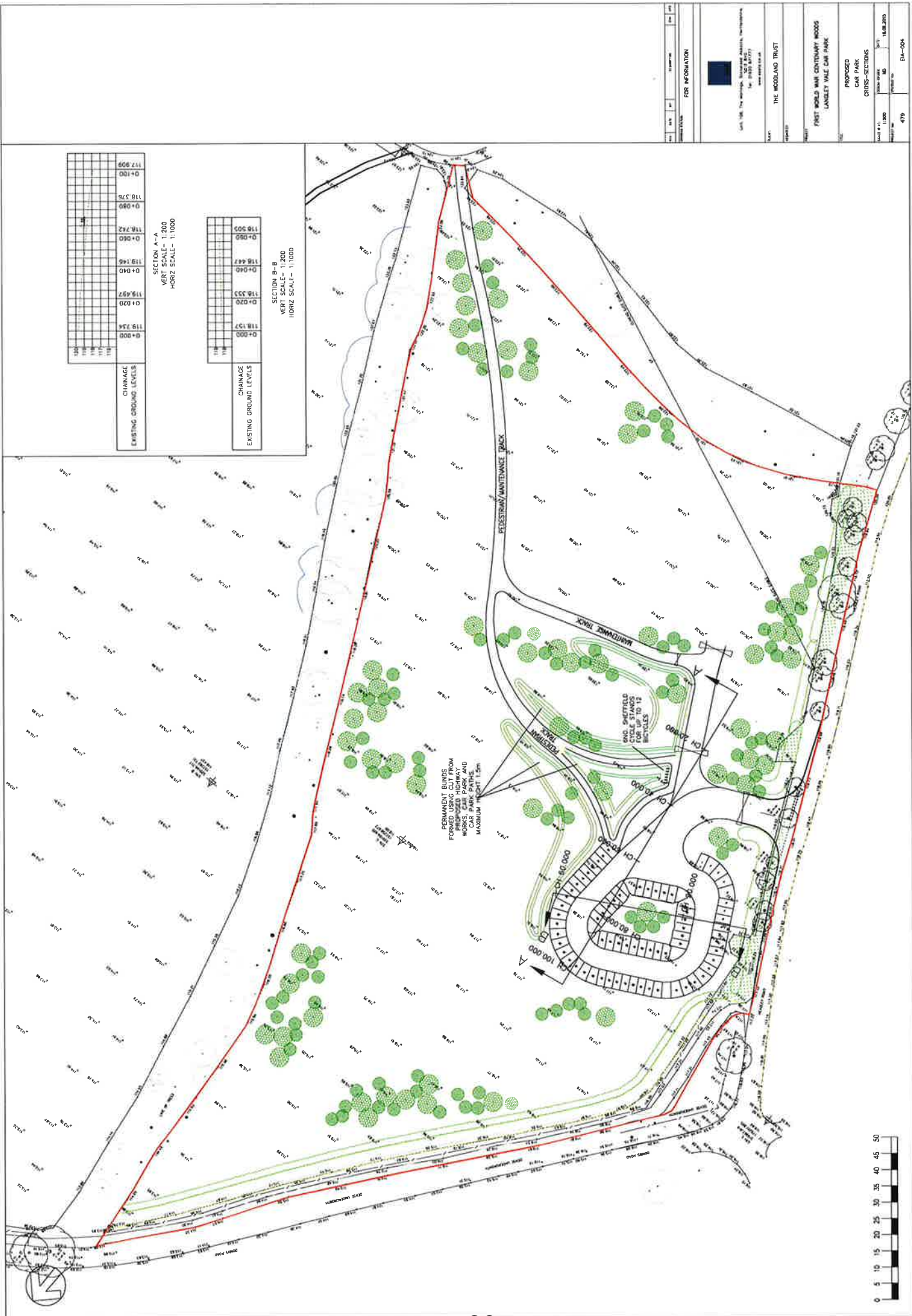
W.C. LANGLEY
1st OCTOBER 2014
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Drawing No. 100001807

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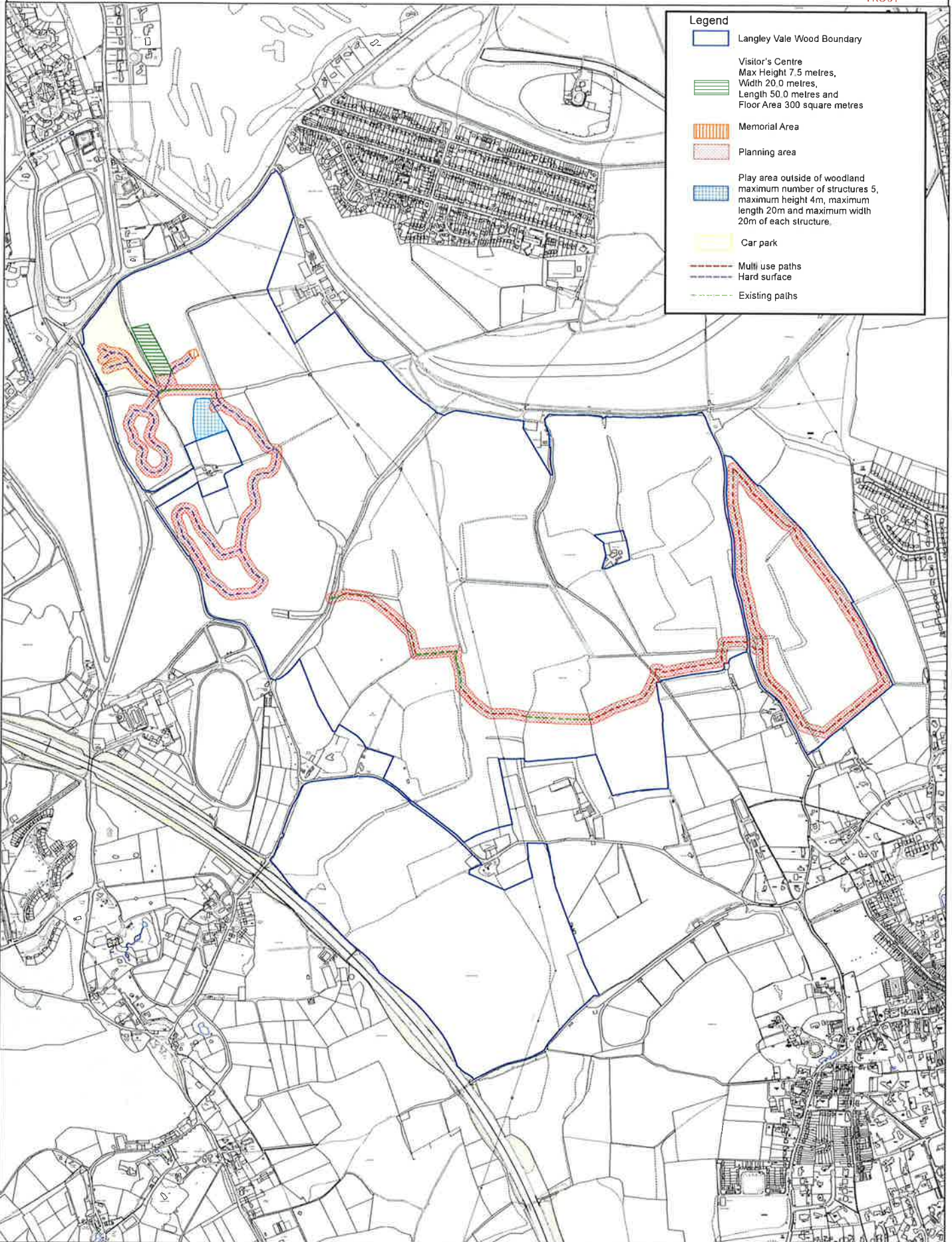
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Agenda Item 5



Agenda Item 5

Langley Vale Wood Layout Plan



The Woodland Trust is a registered charity in England and Wales no. 294344 and in Scotland no. SC038885

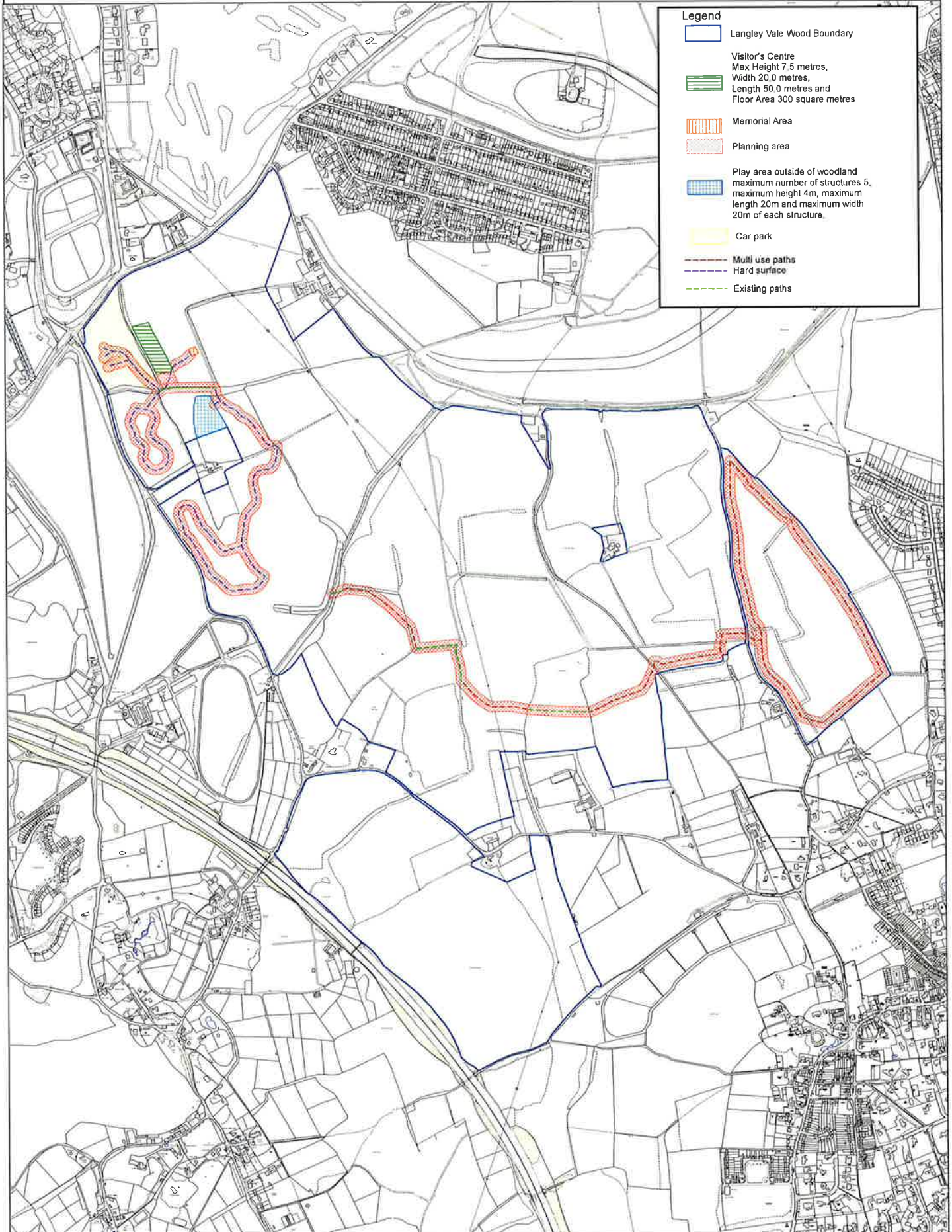
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Date: 16/06/2017
Scale: 1:10,000 at A3
Author: SB
Map Ref: Langley_001



Agenda Item 5

Langley Vale Wood Layout Plan



Legend

- Langley Vale Wood Boundary
- Visitor's Centre
Max Height 7.5 metres,
Width 20.0 metres,
Length 50.0 metres and
Floor Area 300 square metres
- Memorial Area
- Planning area
- Play area outside of woodland
maximum number of structures 5,
maximum height 4m, maximum
length 20m and maximum width
20m of each structure.
- Car park
- Multi use paths
- Hard surface
- Existing paths

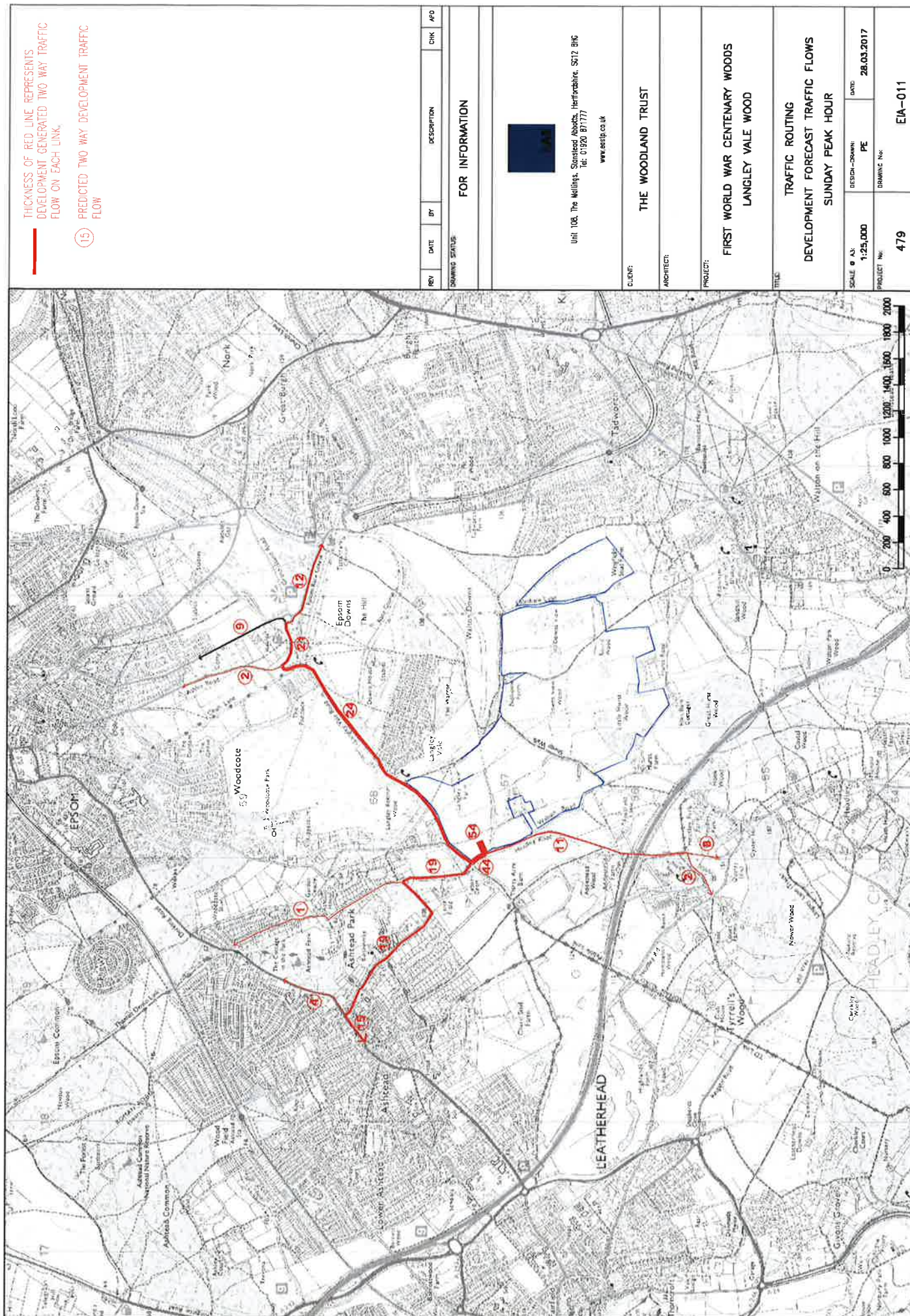
The Woodland Trust is a registered charity in England and Wales no. 294344 and in Scotland no. SC038895

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Date: 16/08/2017
Scale: 1:10,000 at A3
Author: SB
Map Ref: Langley_001



Agenda Item 5

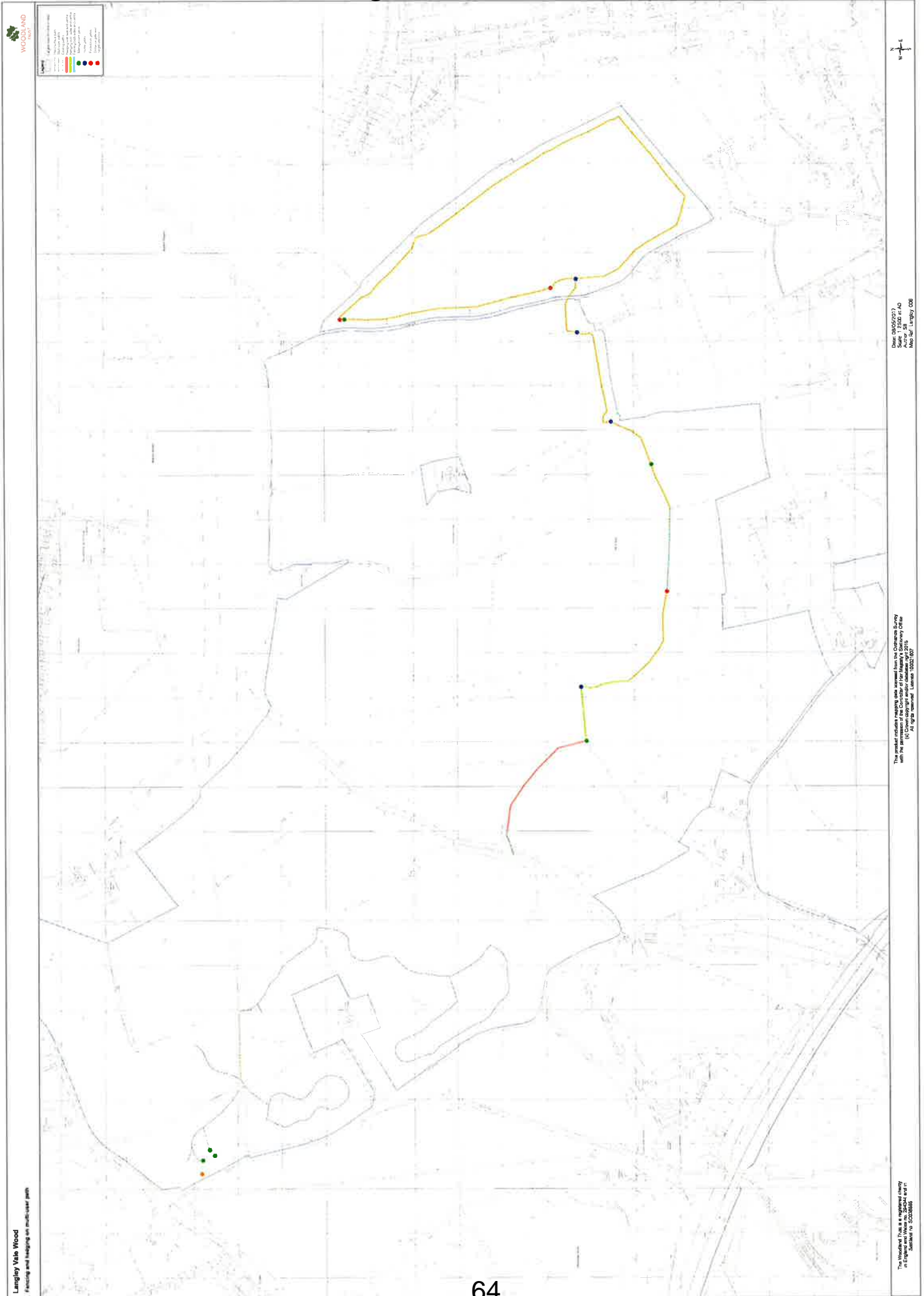


THICKNESS OF RED LINE REPRESENTS DEVELOPMENT GENERATED TWO WAY TRAFFIC FLOW ON EACH LINK.

(15) PREDICTED TWO WAY DEVELOPMENT TRAFFIC FLOW

REV	DATE	BY	DESCRIPTION	CHK	APD
FOR INFORMATION					
					
CLIENT: THE WOODLAND TRUST					
ARCHITECT:					
PROJECT: FIRST WORLD WAR CENTENARY WOODS LANGLEY VALE WOOD					
TRAFFIC ROUTING DEVELOPMENT FORECAST TRAFFIC FLOWS SUNDAY PEAK HOUR					
SCALE: A3	1:25,000	DESIGN-DRAWN: PE	DATE: 28.03.2017		
PROJECT No:	479	DRAWING No:	EIA-011		

Agenda Item 5



Agenda Item 5



Langley Vale Wood
P018a.apc.map

WCS LAND

- Proposed Route
- Proposed Boundary
- Proposed Area
- Proposed Points
- Proposed Area
- Proposed Area

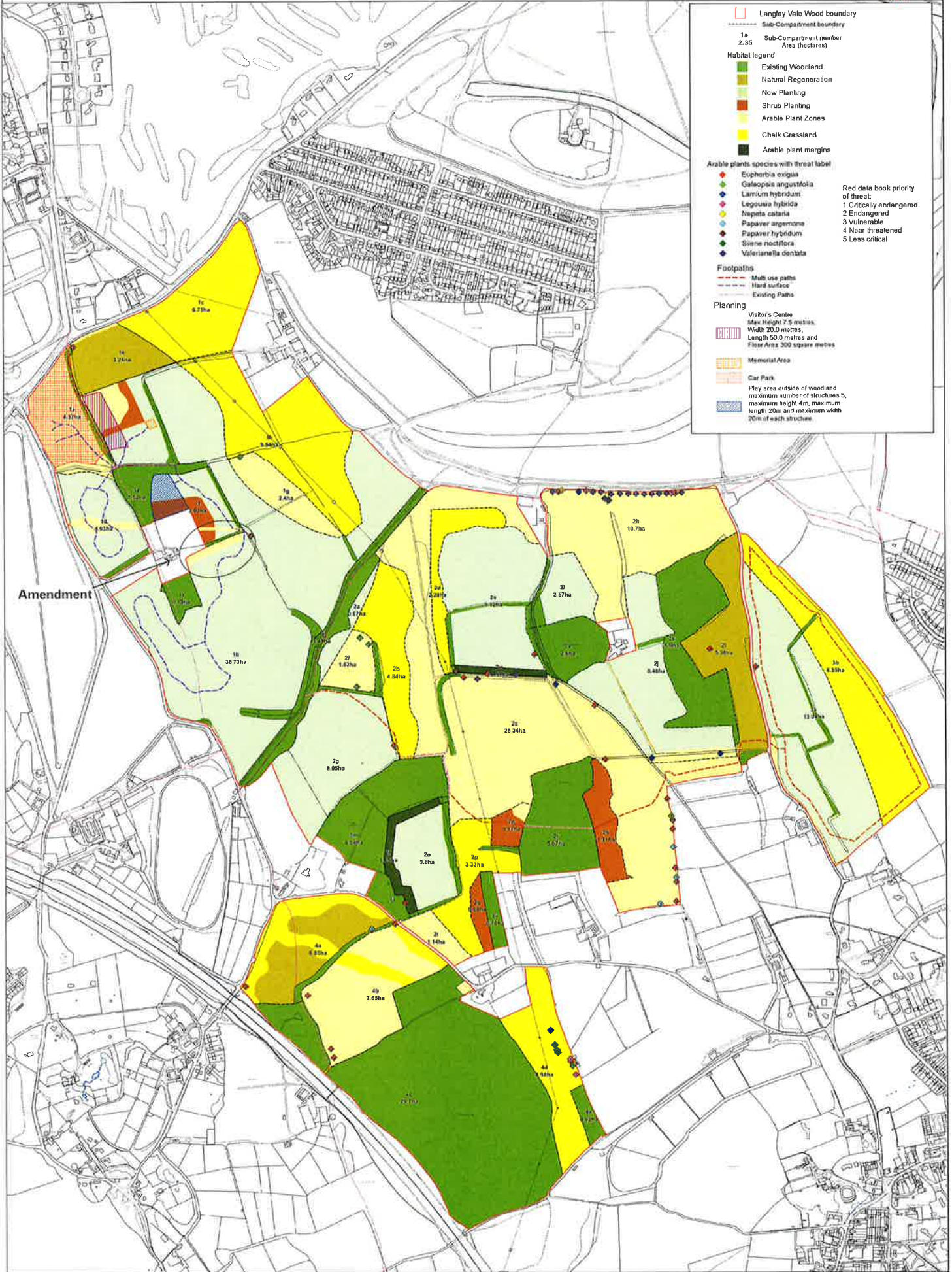
Date: 17/09/2019
Author: T. Langley
Project: Langley Vale Wood

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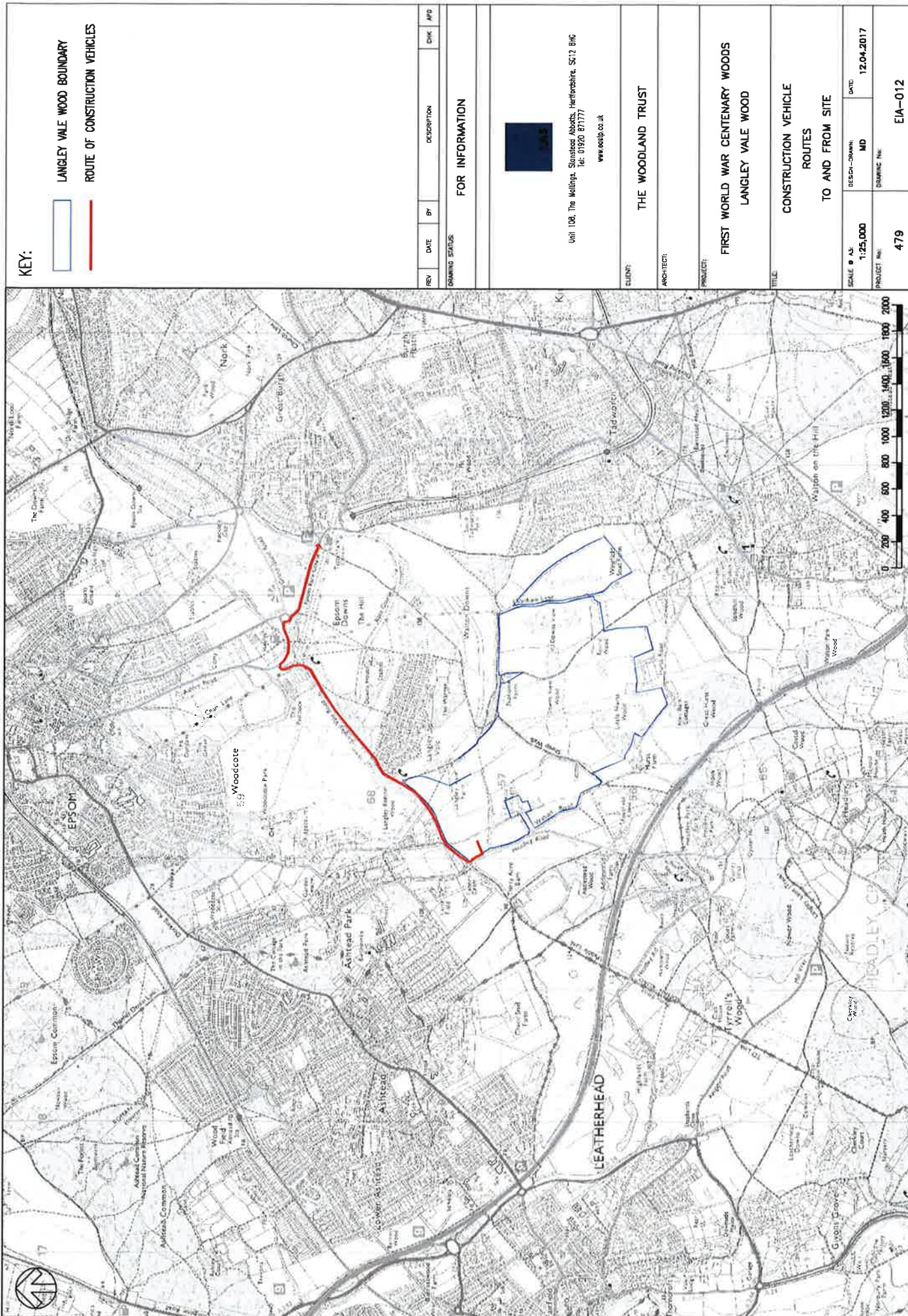
Agenda Item 5

Langley Vale Wood
Indicative Master Plan

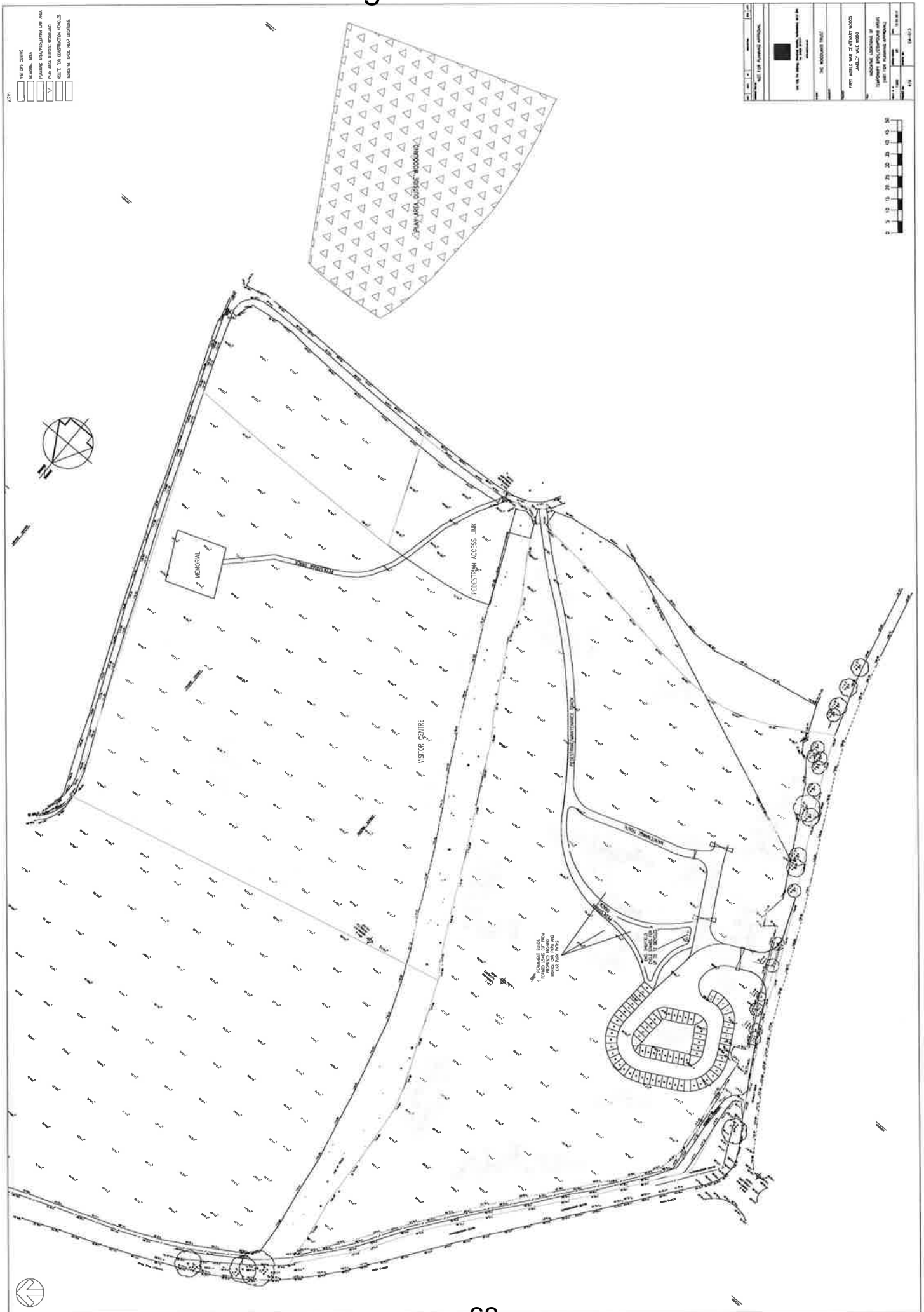


Amendment

Agenda Item 5



Agenda Item 5



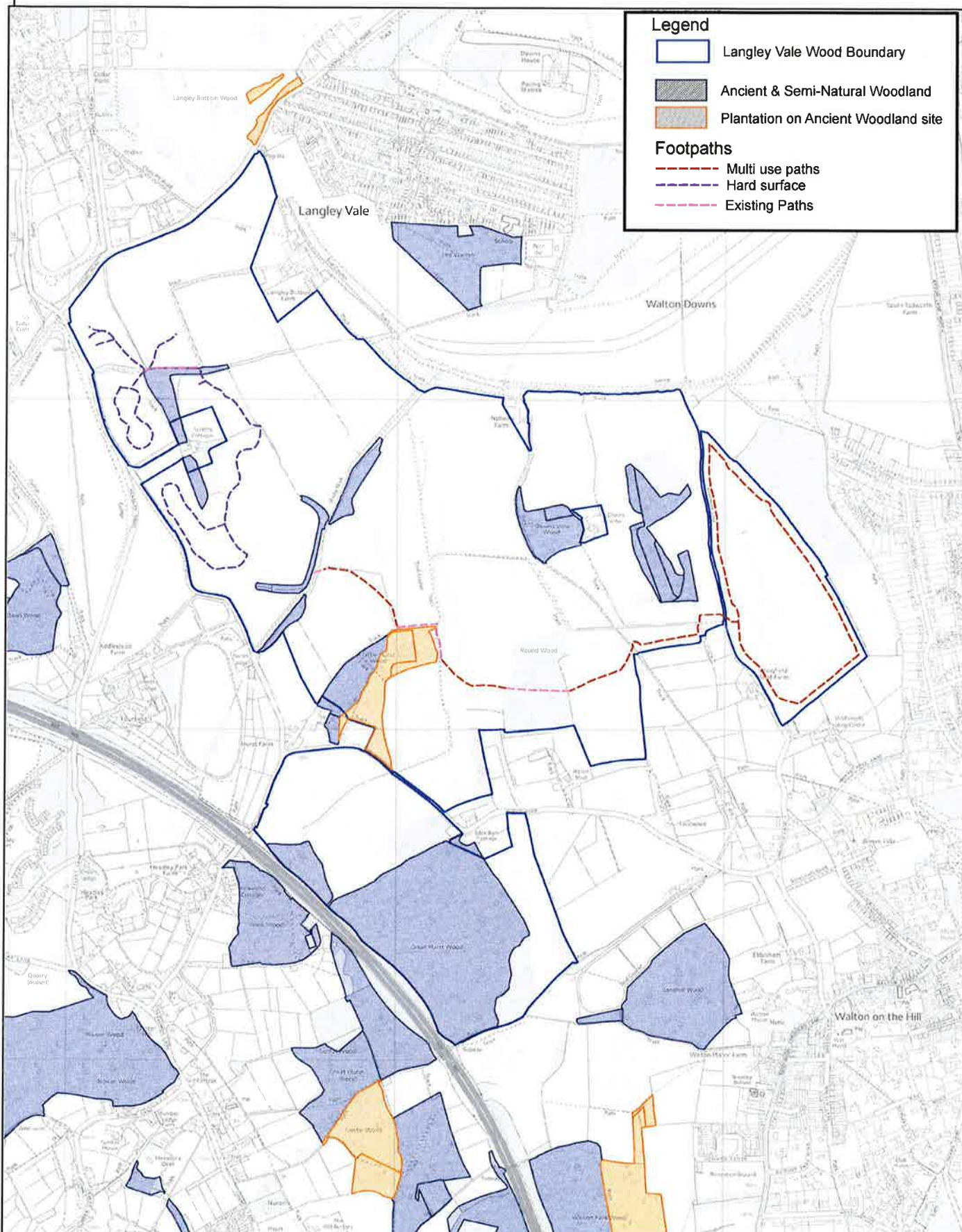
Agenda Item 5

Langley Vale Wood

Ancient Woodland



WOODLAND TRUST



Legend

- Langley Vale Wood Boundary
- Ancient & Semi-Natural Woodland
- Plantation on Ancient Woodland site

Footpaths

- Multi use paths
- Hard surface
- Existing Paths

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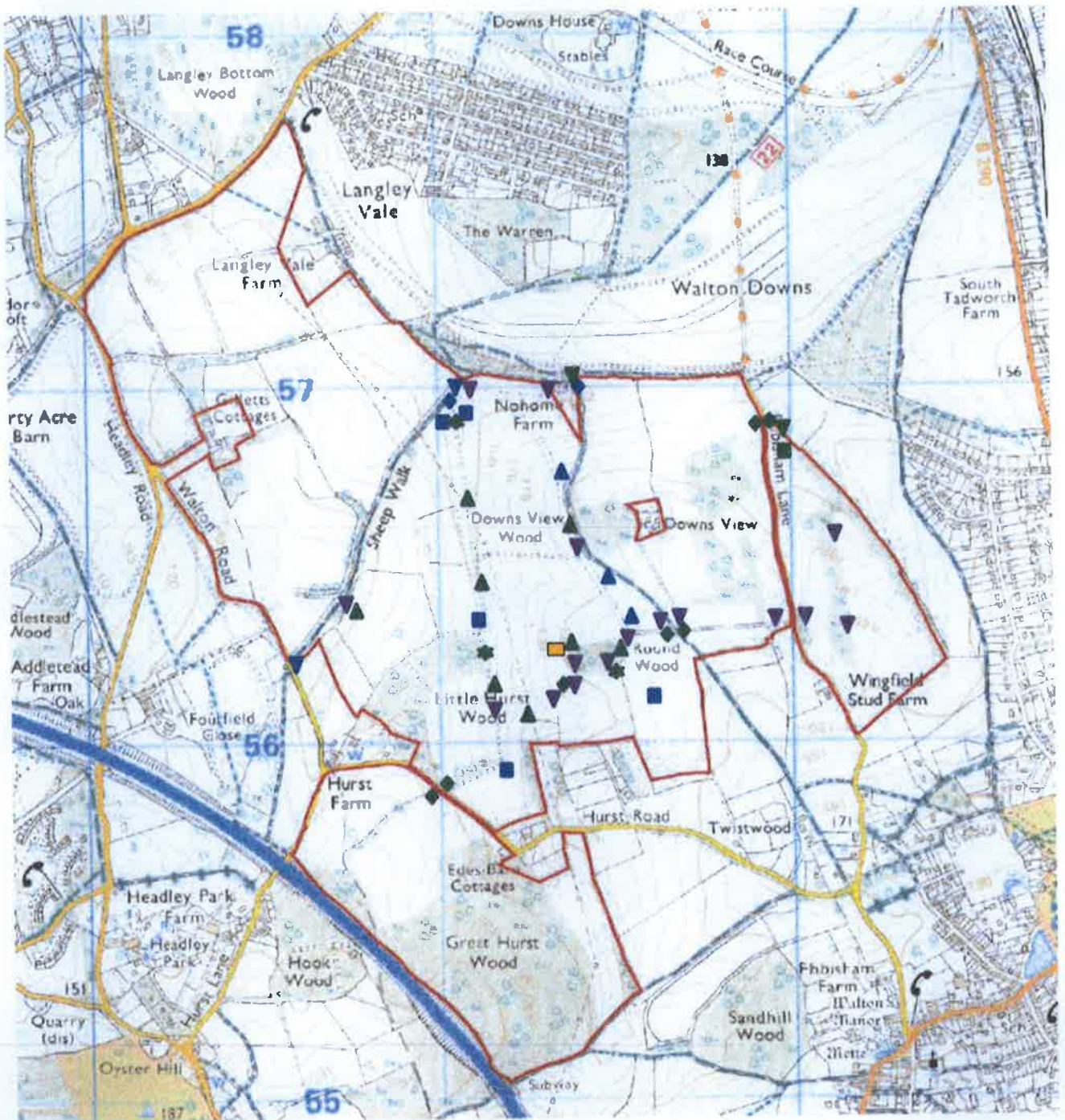
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Date: 01/03/2017
 Scale: 1: 15,000 at A4
 Author: SB
 Map Ref: Langley_010



Agenda Item 5

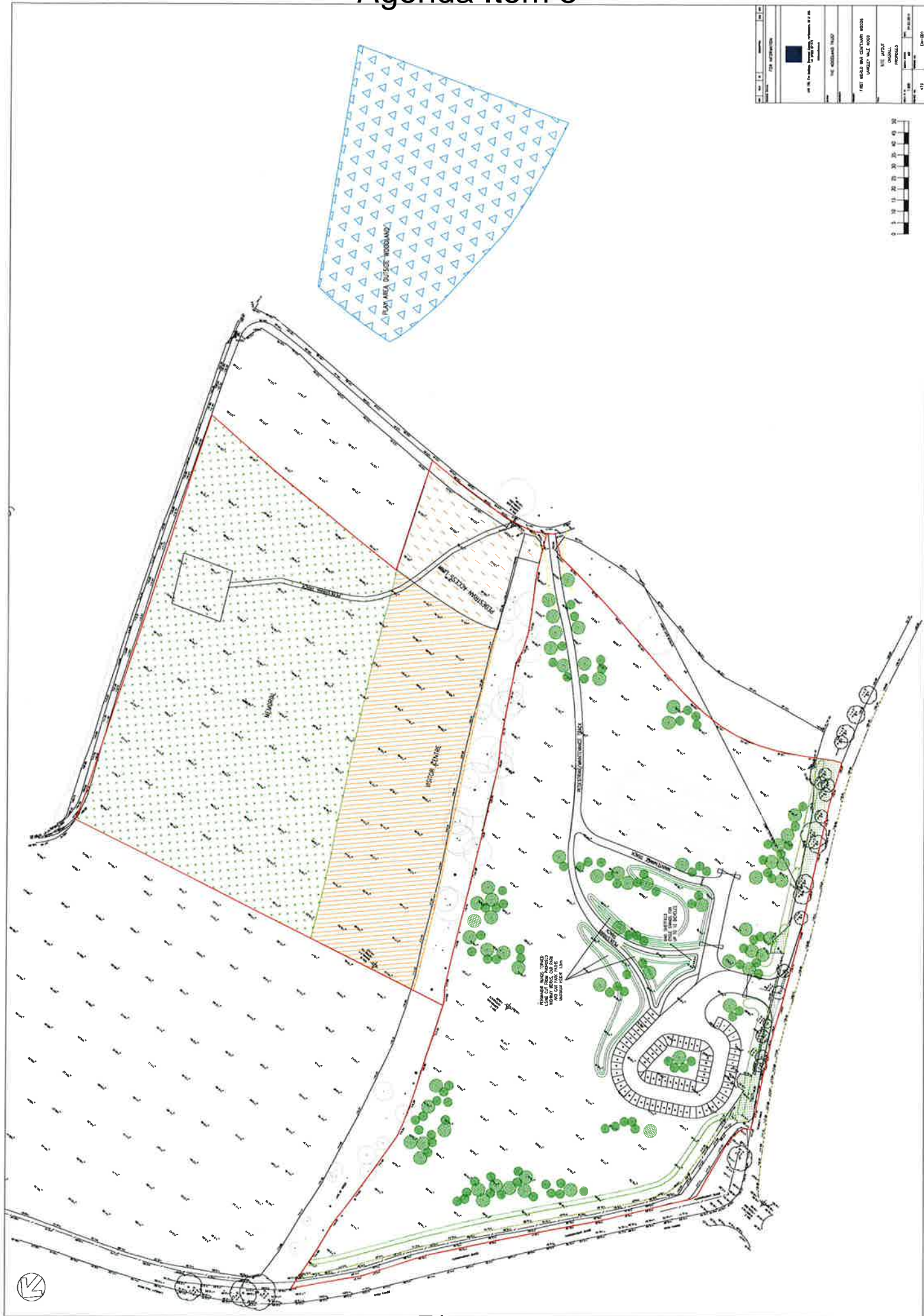
Langley Vale Wood



Legend	
●	Grove post
◆	Kissing gate (already installed)
◇	Kissing gate (proposed)
■	Management gate (already installed)
■	Management gate (Proposed)
▲	Bench (already installed)
▲	Bench (proposed)
—	Regiment of Trees sculptures (12)
—	Jutland Wood Sculptures

Legend	
■	Window sculpture
■	Interpretation board (already installed)
■	Interpretation board (proposed)
▼	Way-marker post
○	Orchard picnic benches
▲	Prudential commemoration board
▼	Artillery sculpture
▼	Ladder board signs (already installed)
▼	Ladder board signs (proposed)

Agenda Item 5



Agenda Item 5



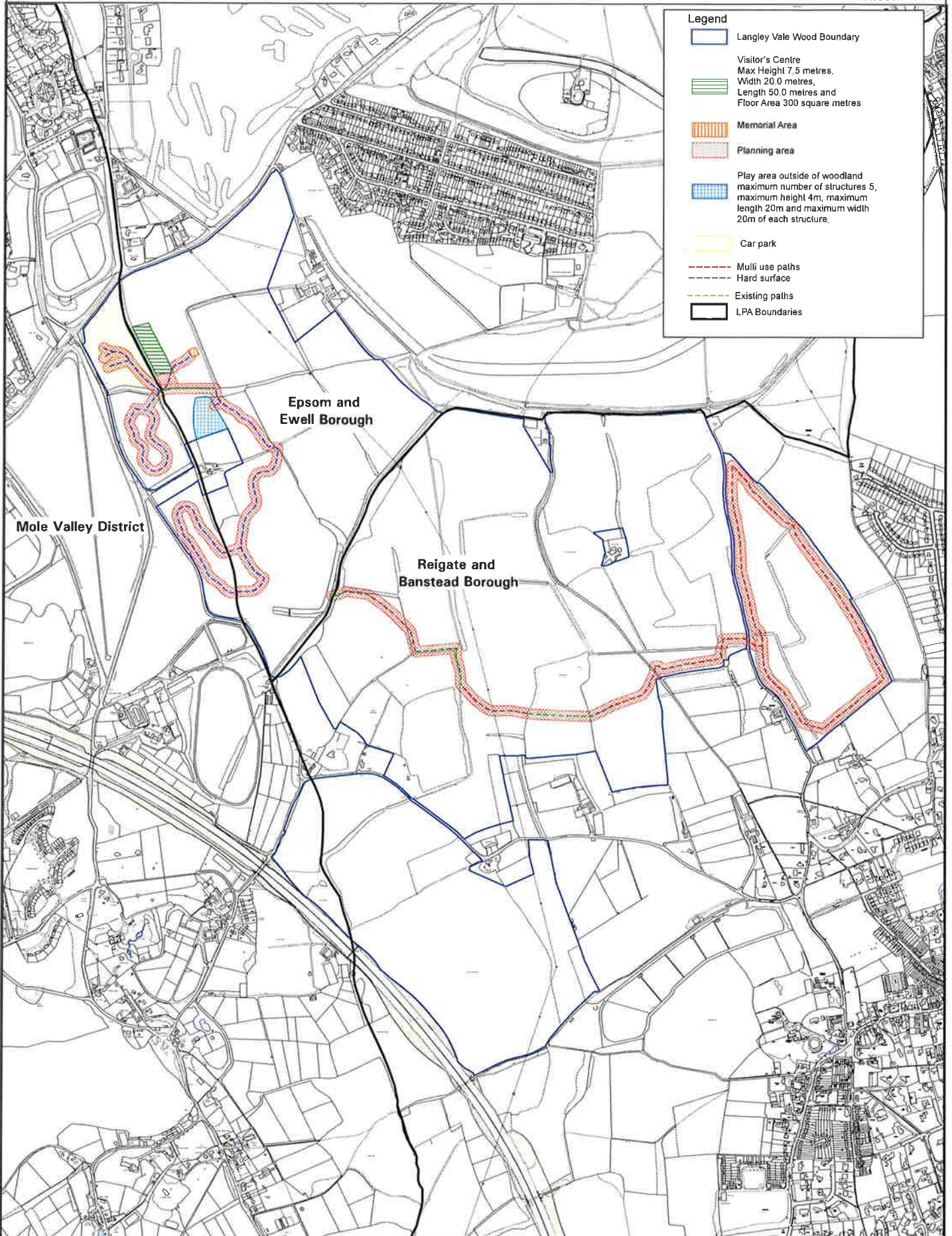
Langley Vale Wood
Preliminary Plan

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The work of this map was prepared by
Langley Vale Wood in 2024 and
Scale 1:1000 A.D.

Agenda Item 5

Langley Vale Wood Layout Plan and LPA Boundaries



Legend

- Langley Vale Wood Boundary
- Visitor's Centre
Max Height 7.5 metres,
Width 20.0 metres,
Length 50.0 metres and
Floor Area 300 square metres
- Memorial Area
- Planning area
- Play area outside of woodland
maximum number of structures 5,
maximum height 4m, maximum width
20m and maximum length
20m of each structure.
- Car park
- Multi use paths
- Hard surface
- Existing paths
- LPA Boundaries

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Date: 16/08/2017
Scale: 1:10,000 at A3
Author: SB
Map Ref: Langley_002



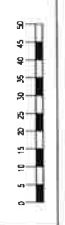
Agenda Item 5

KEY:

- [Hatched Area] PROPOSED ASBESTOS REMEDIATION AND ACETIC ACID TANK 1 SOIL CONSTRUCTION
- [Brown Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Green Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Dotted Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Yellow Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Blue Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Red Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Purple Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Grey Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Orange Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Light Blue Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
- [Dark Blue Area] PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION

Type	Description
1	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
2	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
3	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
4	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
5	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
6	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
7	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
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9	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION
10	PROPOSED ASBESTOS REMEDIATION SOIL CONSTRUCTION

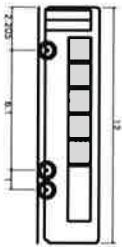
DATE: 10/15/2024
DRAWN BY: J. [Name]
SCALE: 1" = 100'
PROJECT: [Name]
SHEET: 1 OF 1
APPROVED: [Signature]
CHECKED: [Signature]
DATE: 10/15/2024



Agenda Item 5



Moroco 12	12,000m
Overall length	2,550m
Overall width	3,102m
Overall Bedg. Height	0,332m
Turn Bedg. Height	2,000m
Clearance	4,000m
Lock to kerb time	9,924m
Radius	



Unit 23, The Millings, Stisted, Abbeots, Hertfordshire, SG12 8HG
 Tel: 01920 877777
 www.robisp.co.uk



CLIENT
THE WOODLAND TRUST

PROJECT
**FIRST WORLD WAR CENTENARY PARK WOODS,
 LANGLEY VALE CAR PARK**

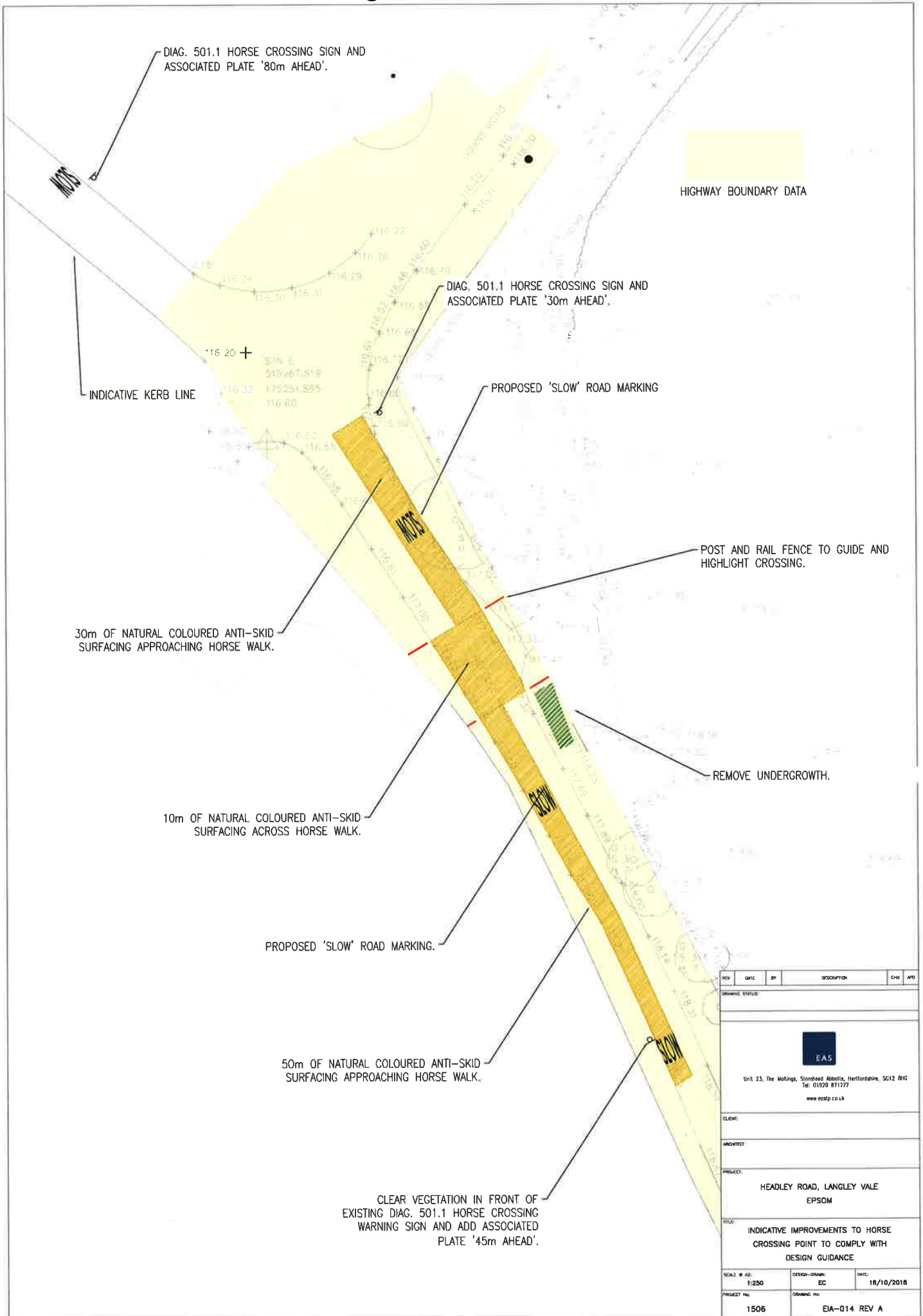
TITLE
**PROPOSED 12m COACH
 SWEEP PATH ANALYSIS**

SCALE @ A3:	DESIGN-DRAWN:	DATE:
1:500	MC	29/09/18

PROJECT NO:	DRAWING NO:
479	SK15

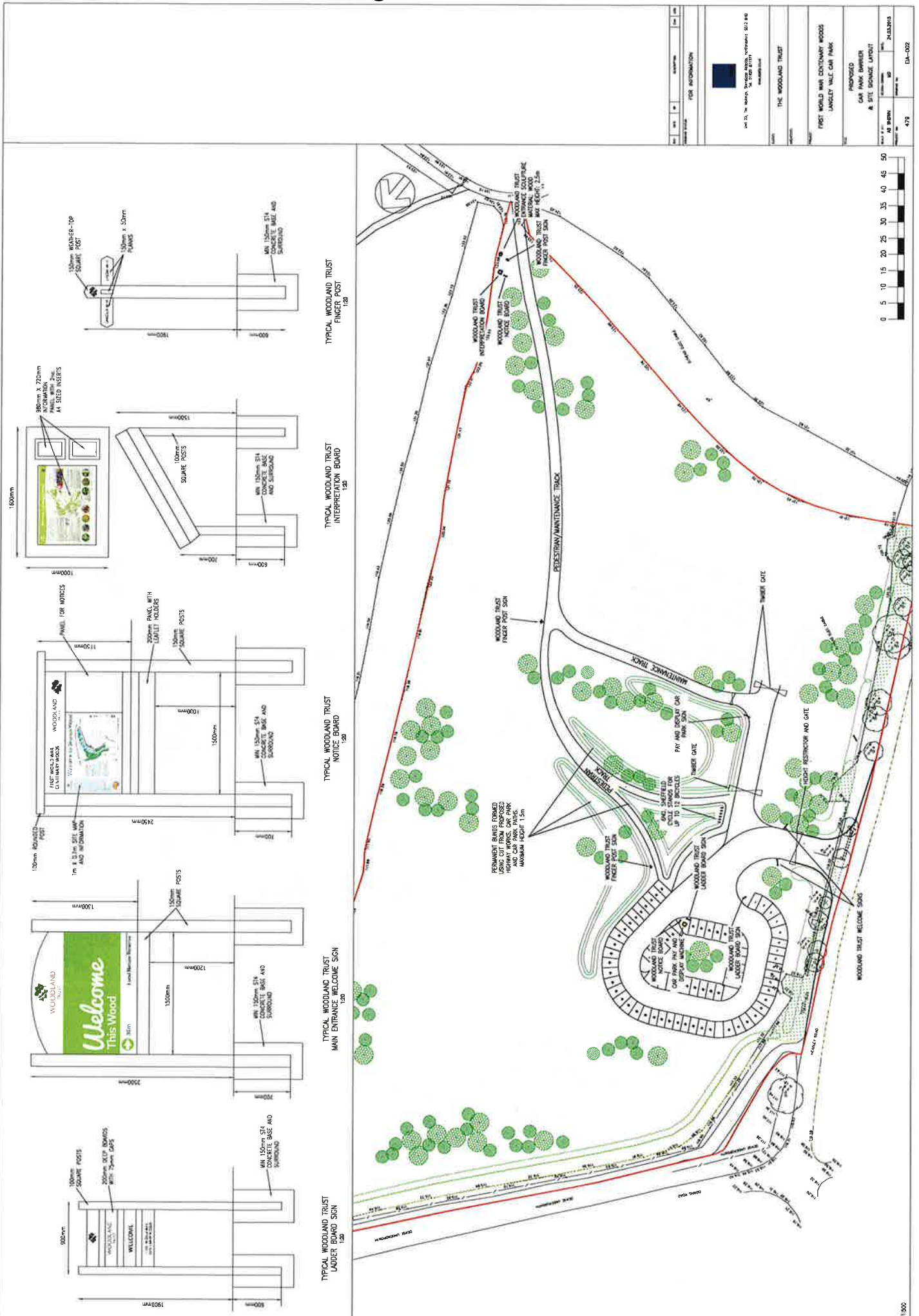
REV	DATE	BY	DESCRIPTION	CHK	APP
DRAWING STATUS					

Agenda Item 5



REV	DATE	BY	DESCRIPTION	CHK	APP
DRAWING STATUS:					
 Unit 23, The Walkings, Stonestead Abbots, Hertfordshire, SG12 8HG Tel: 01920 871777 www.eastp.co.uk					
CLIENT:					
ARCHITECT:					
PROJECT:					
HEADLEY ROAD, LANGLEY VALE EPSOM					
TITLE:					
INDICATIVE IMPROVEMENTS TO HORSE CROSSING POINT TO COMPLY WITH DESIGN GUIDANCE					
SCALE # AD:	DESIGN-DRAWN:	DATE:			
1:250	EC	18/10/2018			
PROJECT No:	DRAWING No:				
1506	EIA-014 REV A				

Agenda Item 5



Project Name	THE WOODLAND TRUST
Client	THE WOODLAND TRUST
Project Location	FIRST WOODLAND TRUST CENTenary WOODS LANGLEY VALE CAR PARK
Proposed	CAR PARK BARRIERS & SITE SIGNAGE LAYOUT
Drawn By	479
Date	24/03/2015
Scale	DA-002

Agenda Item 5



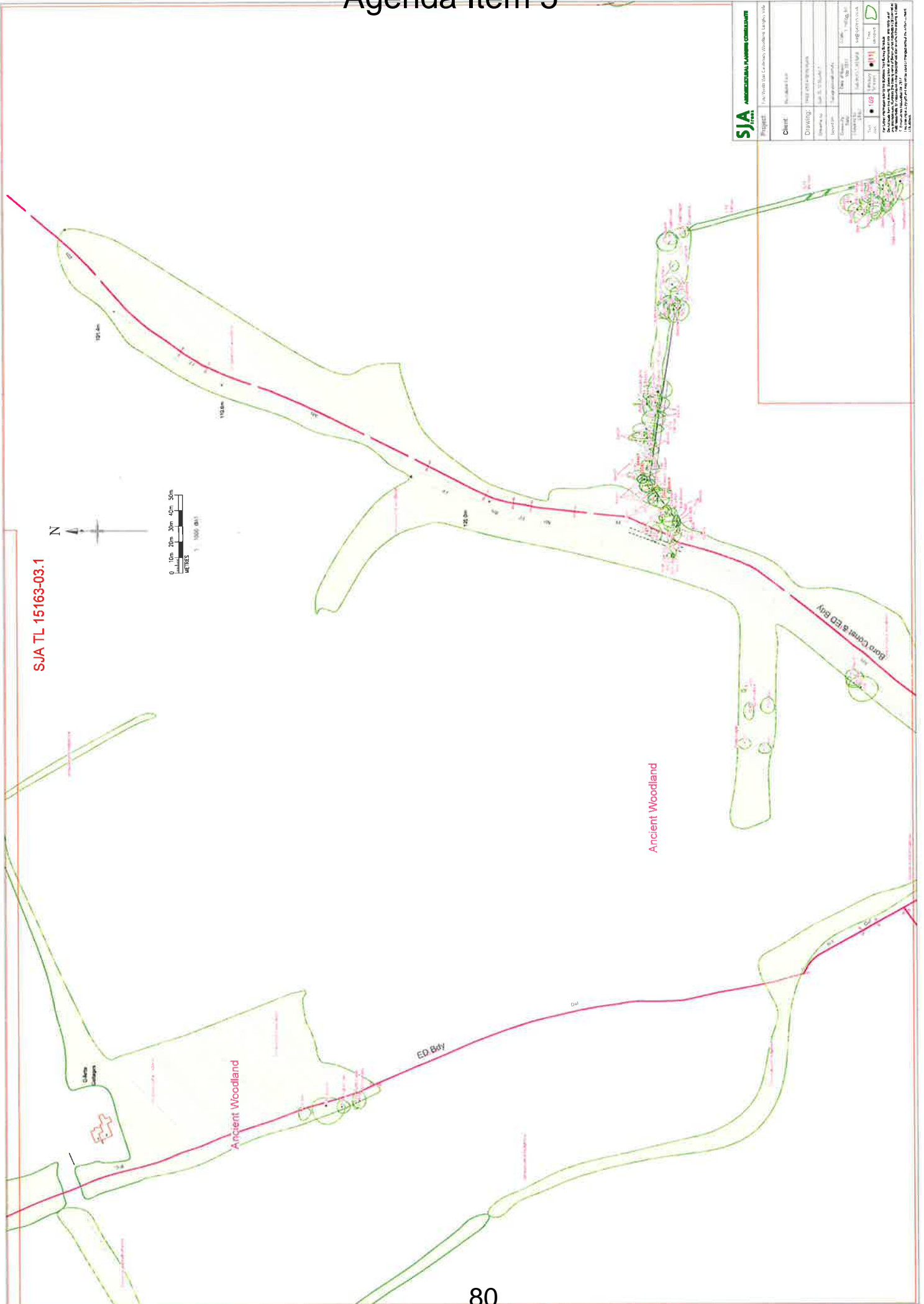
Agenda Item 5

SJA TL 15163-03.0



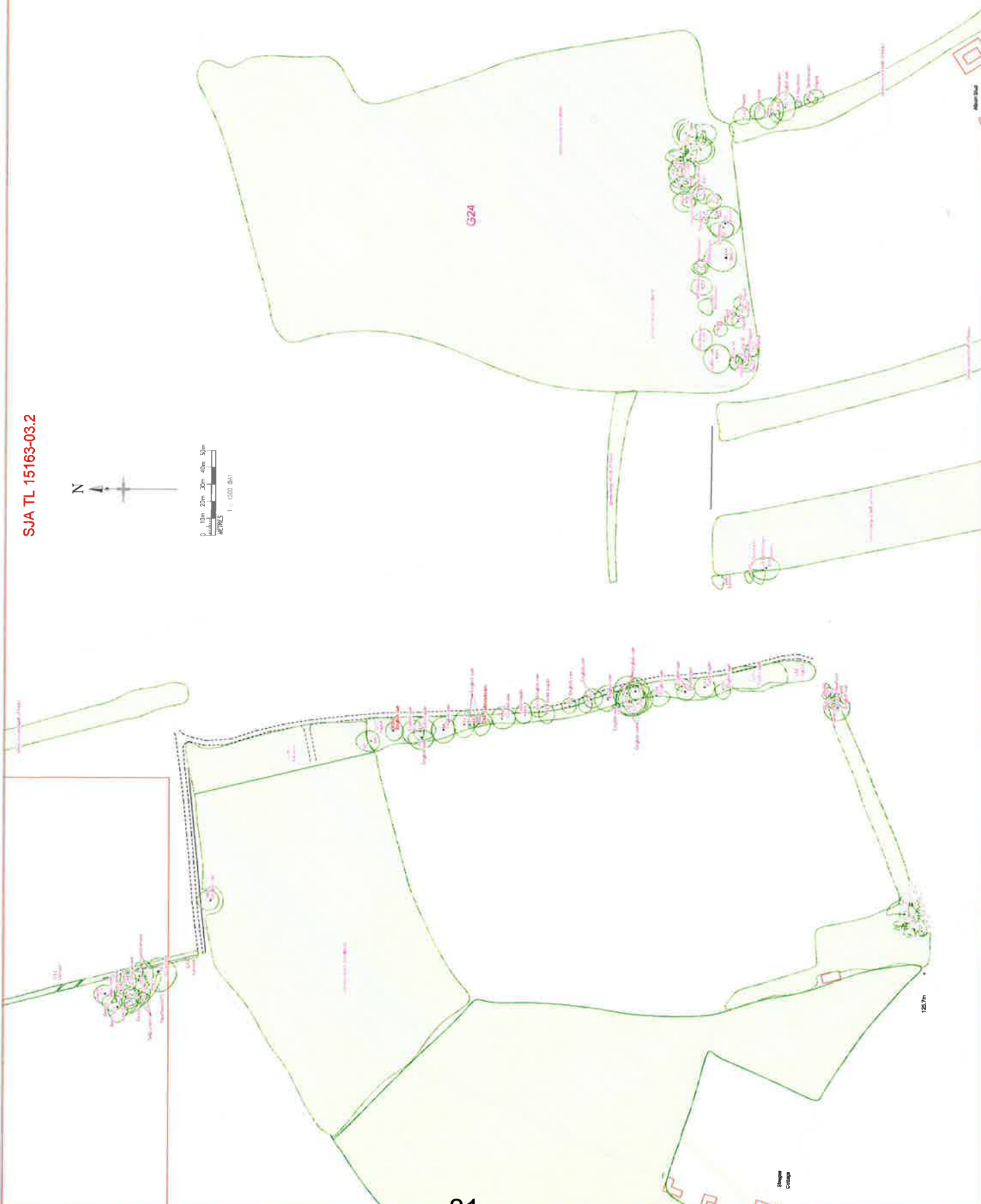
SJA SOUTH JERSEY ASSOCIATION	Project: 15163-03.0
Client: [Redacted]	Drawing: TREE LAYOUT PLAN
Scale: 1:1000	Date: 15/01/2020
Author: [Redacted]	Check: [Redacted]
Drawn: [Redacted]	Approved: [Redacted]
Revised: [Redacted]	Project No.: 15163-03.0
Site No.: [Redacted]	Sheet No.: 03.0
Scale: 1:1000	Scale: 1:1000
North Arrow: [Redacted]	North Arrow: [Redacted]
Scale Bar: [Redacted]	Scale Bar: [Redacted]
Legend: [Redacted]	Legend: [Redacted]
Notes: [Redacted]	Notes: [Redacted]

Agenda Item 5



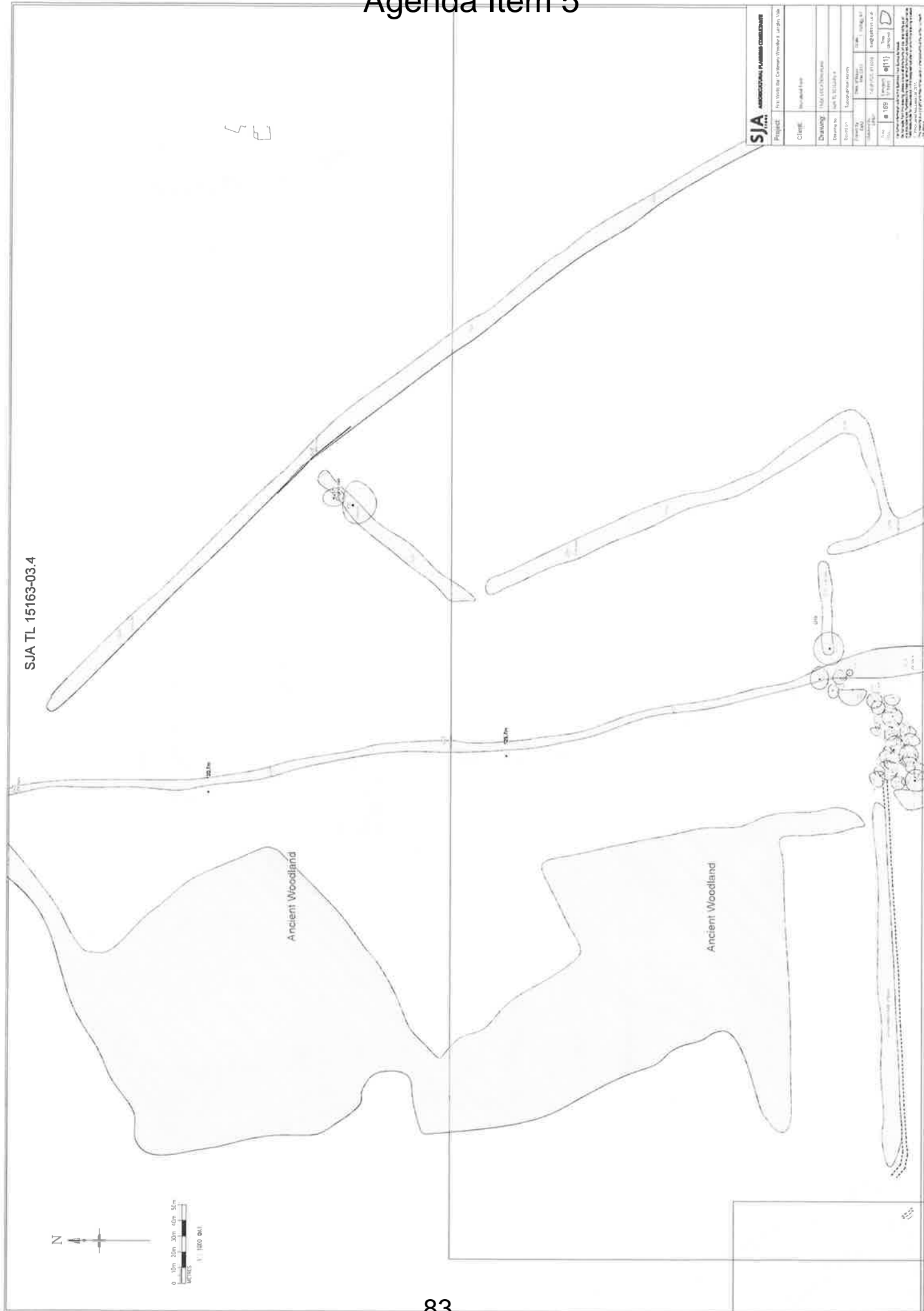
Agenda Item 5

SJA TL 15163-03.2



SJA SPECIALIST JOURNALISTS ASSOCIATION	Project: Tree Location Plan for the proposed development at the site of the former SJA building, 15163-03.2
Client: SJA	Drawn by: [Name]
Drawings: TREE LOCATION PLAN	Drawing No: SJA TL 15163-03.2
Revision: [Number]	Scale: 1:1000 @A1
Date: [Date]	Author: [Name]
Check: [Name]	Drawn: [Name]
Approved: [Name]	Checked: [Name]

Agenda Item 5



Agenda Item 5



Langley Vale Wood
Topographical Survey and plan

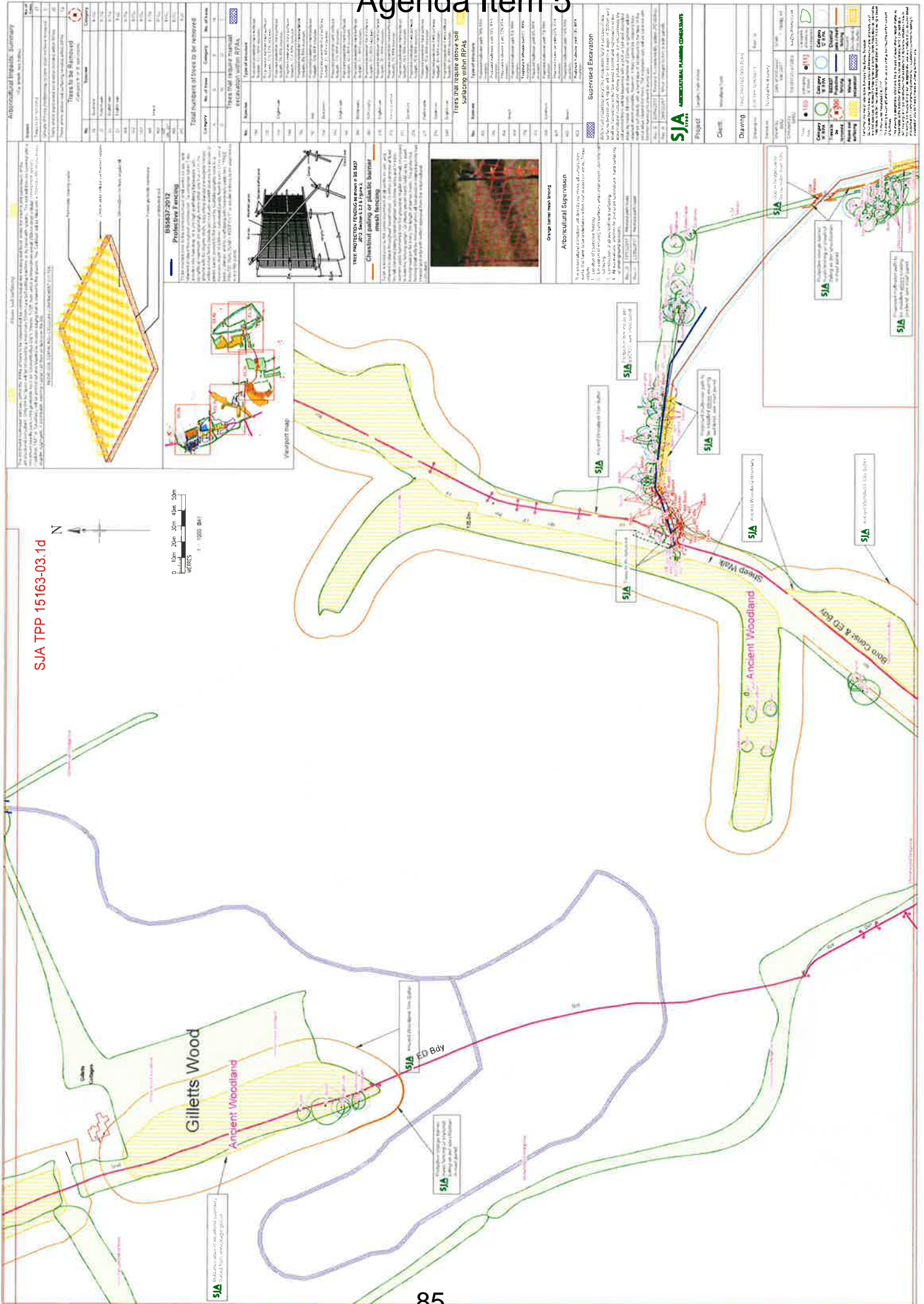
WOODLAND

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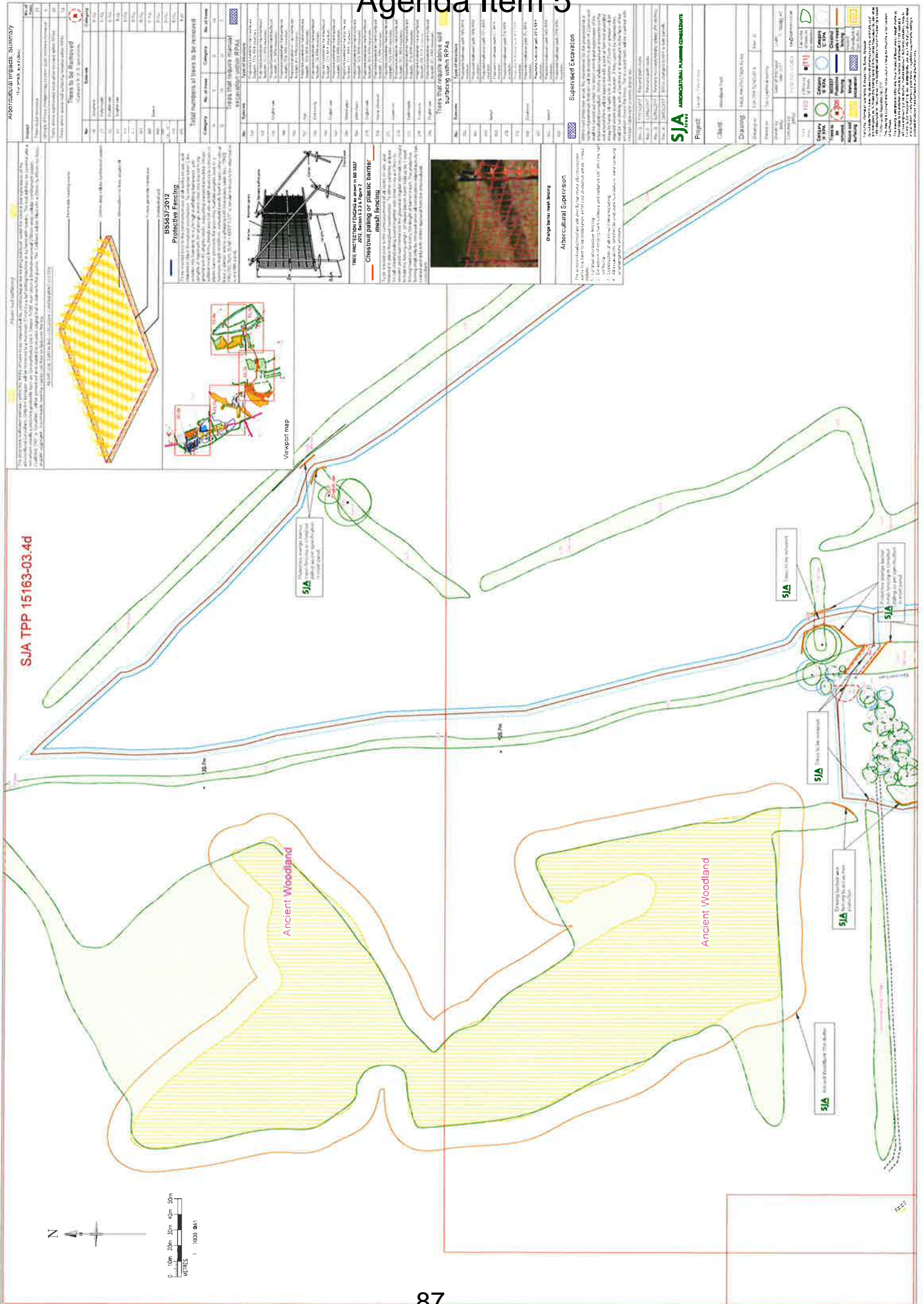
Date: 21/02/2017
Scale: 2:100 @ A0
Map No: 1 Page: 025

This Woodland Plan was prepared by
M. Lloyd and W. G. N. 28/04/2016
Source No: 30200055

Agenda Item 5



Agenda Item 5



AGRICULTURAL SUPERVISION SUMMARY

For work within the site boundary.

Category	No. of trees	No. of sites	No. of areas
Supervised Excavation	1	1	1
Agricultural Supervision	1	1	1
Total	2	2	2

Trees that require advice

Tree ID	Species	Height (m)	DBH (cm)	Notes
T001	Oak	12	15	Tree to be removed
T002	Hornbeam	8	10	Tree to be retained
T003	Oak	10	12	Tree to be retained
T004	Hornbeam	6	8	Tree to be retained
T005	Oak	11	14	Tree to be retained
T006	Hornbeam	7	9	Tree to be retained
T007	Oak	9	11	Tree to be retained
T008	Hornbeam	5	7	Tree to be retained
T009	Oak	13	16	Tree to be removed
T010	Hornbeam	4	6	Tree to be retained
T011	Oak	10	13	Tree to be retained
T012	Hornbeam	6	8	Tree to be retained
T013	Oak	11	14	Tree to be retained
T014	Hornbeam	7	9	Tree to be retained
T015	Oak	9	11	Tree to be retained
T016	Hornbeam	5	7	Tree to be retained
T017	Oak	12	15	Tree to be removed
T018	Hornbeam	8	10	Tree to be retained
T019	Oak	10	12	Tree to be retained
T020	Hornbeam	6	8	Tree to be retained

Supervised Excavation

Excavation ID	Location	Depth (m)	Notes
SE001	Area A	1.5	Excavation for foundation
SE002	Area B	2.0	Excavation for foundation

Agricultural Supervision

Supervision ID	Area	Notes
AS001	Area C	Supervised excavation
AS002	Area D	Supervised excavation

Orange barrier mesh fencing

Fencing ID	Length (m)	Notes
OF001	100	Perimeter fencing
OF002	50	Internal fencing

Agricultural Supervision

Supervision ID	Area	Notes
AS003	Area E	Supervised excavation
AS004	Area F	Supervised excavation

Supervised Excavation

Excavation ID	Location	Depth (m)	Notes
SE003	Area G	1.8	Excavation for foundation
SE004	Area H	2.2	Excavation for foundation

Agricultural Supervision

Supervision ID	Area	Notes
AS005	Area I	Supervised excavation
AS006	Area J	Supervised excavation

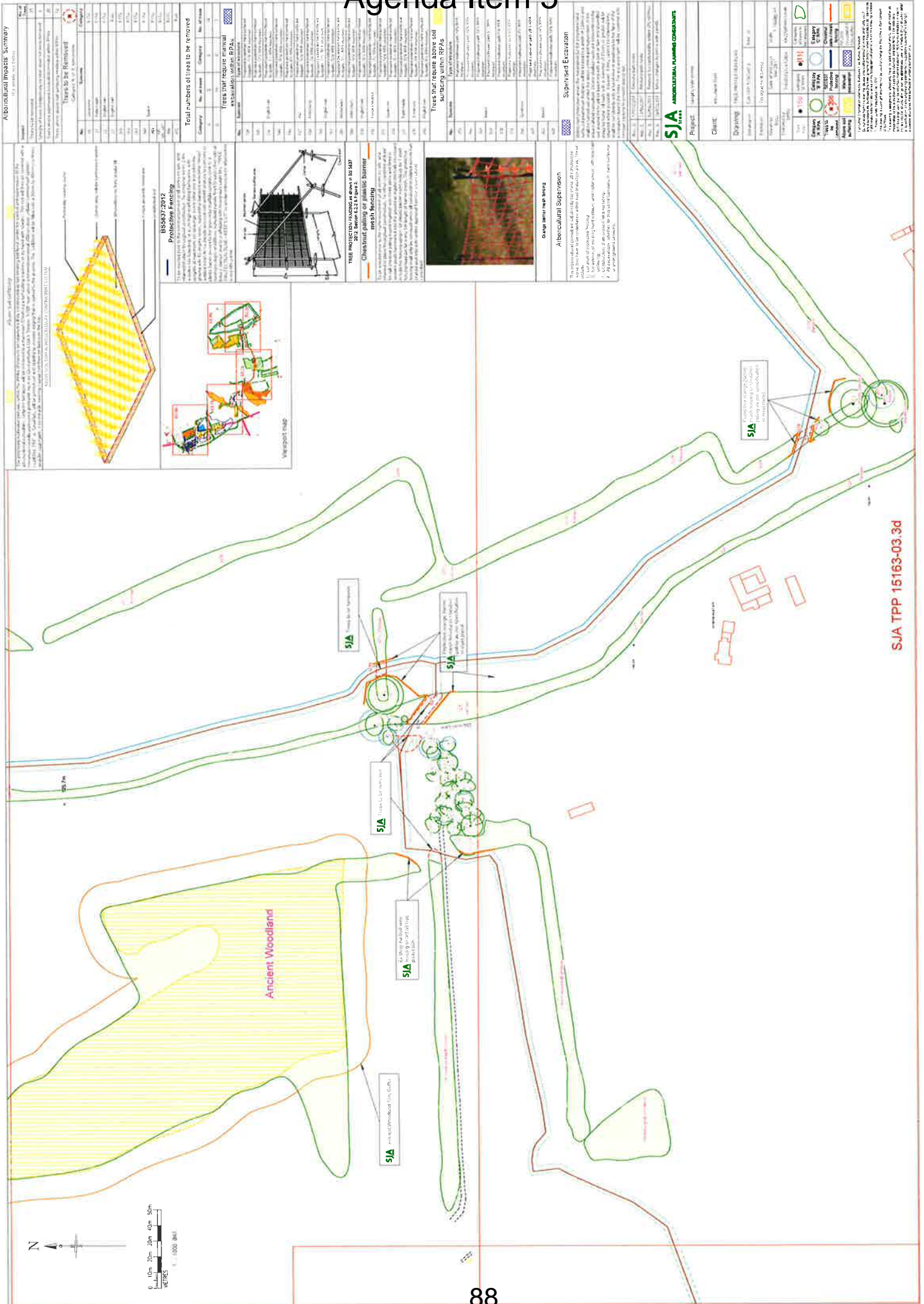
Supervised Excavation

Excavation ID	Location	Depth (m)	Notes
SE005	Area K	1.6	Excavation for foundation
SE006	Area L	2.1	Excavation for foundation

Agricultural Supervision

Supervision ID	Area	Notes
AS007	Area M	Supervised excavation
AS008	Area N	Supervised excavation

Agenda Item 5





Arboreal Vegetation Summary	
Species	No. of trees
Deciduous	15
Evergreen	2
Conifer	1
Shrub	1
Palms	0
Others	0
Total	19

Total numbers of trees to be removed	
Category	No. of trees
Remove	15
Retain	4
Total	19

- Types that require manual removal
- 1. **Removal**: Trees that are to be removed from the site.
 - 2. **Retention**: Trees that are to be retained on the site.
- Types that require removal
- 1. **Removal**: Trees that are to be removed from the site.
 - 2. **Retention**: Trees that are to be retained on the site.

Tree ID	Species	Height (m)	DBH (cm)	Health	Retention
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19

Supervised Excavation

Excavation of the site shall be supervised by a qualified person who shall ensure that all excavations are properly supported and that all excavations are properly inspected and recorded.

Project	Location
SJA TPP 15163-03.2d	...

Category	Code	Description
...
...
...

SJA AGRICULTURAL PLANNING CONSULTANTS

Project: SJA TPP 15163-03.2d

Client: ...

Drawn by: ...

Checked by: ...

Scale: 1:1000

Date: ...

Legend: ...

Notes: ...

THIS PROTECTION IS SPECIFIED AS SHOWN IN BS 5327



Checklist piling or plastic barrier mesh fencing

Checklist piling or plastic barrier mesh fencing

The fence should be constructed of a minimum of 300mm diameter piles driven into the ground to a depth of 2.0m. The mesh should be attached to the piles using 12mm diameter bolts. The fence should be supported by a minimum of 2.0m high concrete blocks. The fence should be supported by a minimum of 2.0m high concrete blocks. The fence should be supported by a minimum of 2.0m high concrete blocks. The fence should be supported by a minimum of 2.0m high concrete blocks.

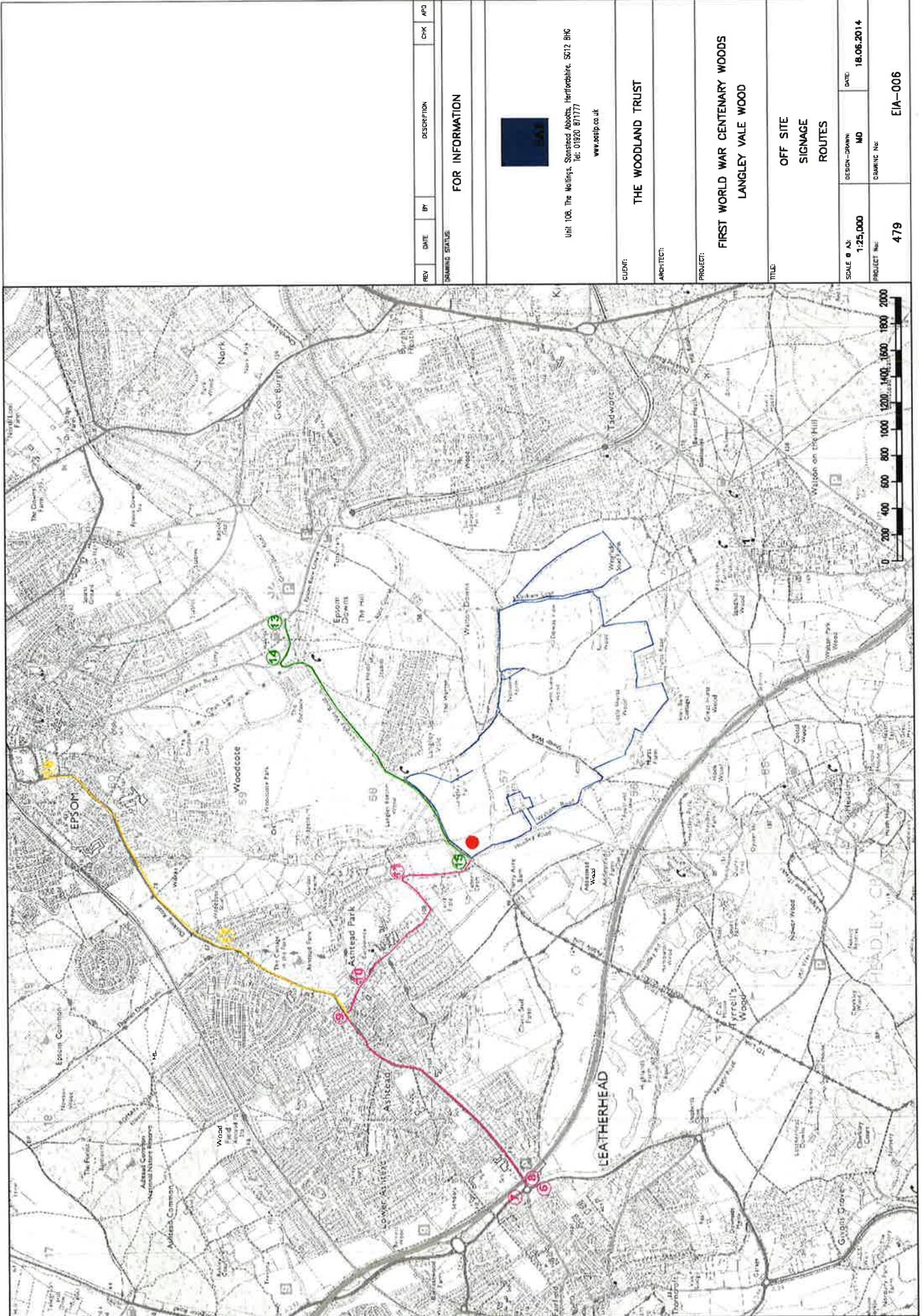



Example mesh fencing

Arboreal Supervision

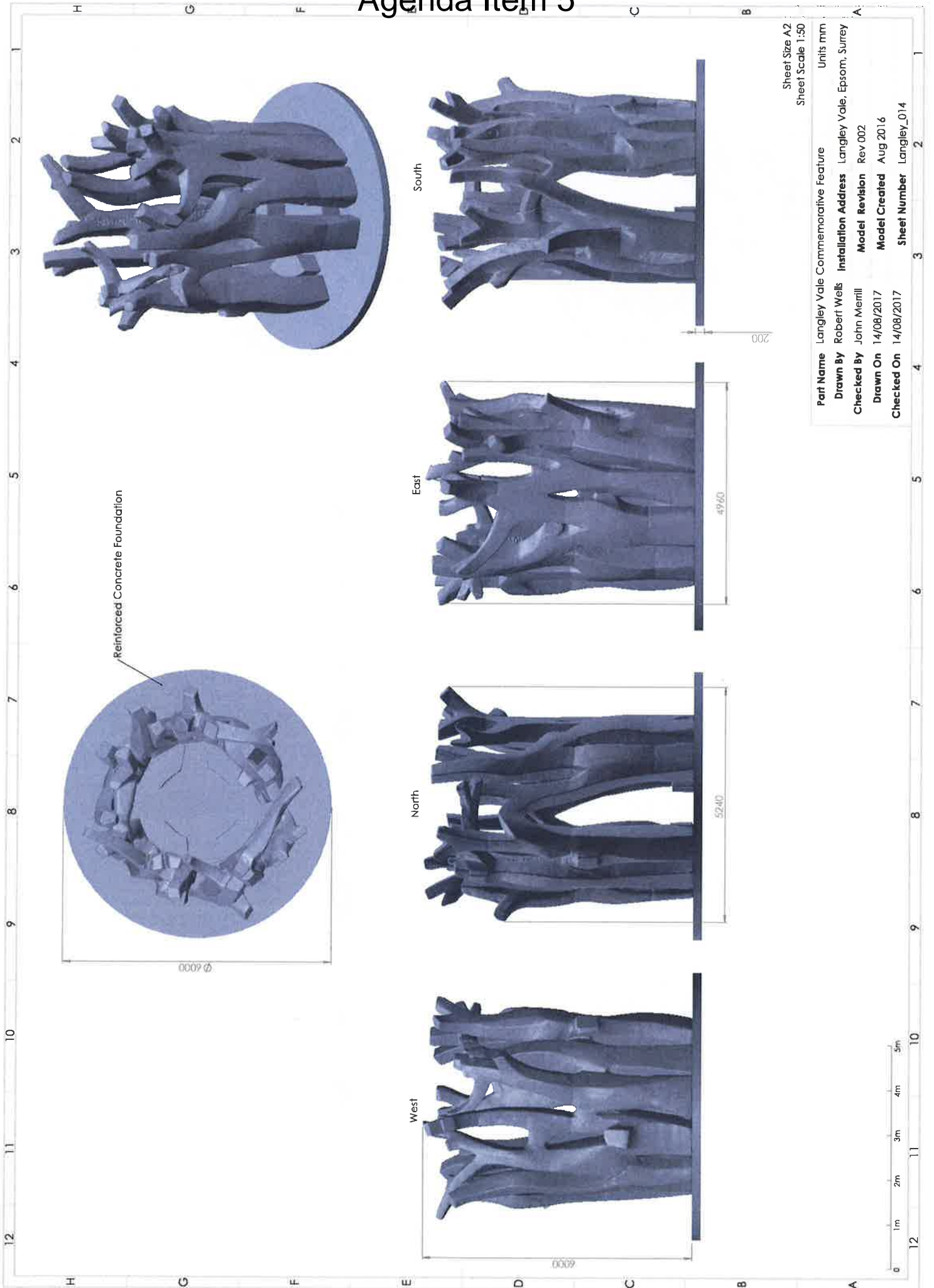
The project shall include an arboreal supervision plan which shall include all activities which shall be carried out in the site. The plan shall include all activities which shall be carried out in the site. The plan shall include all activities which shall be carried out in the site. The plan shall include all activities which shall be carried out in the site. The plan shall include all activities which shall be carried out in the site.

Agenda Item 5



REV	DATE	BY	DESCRIPTION	CHK	APP
DRAWING STATUS: FOR INFORMATION					
					
CLIENT: THE WOODLAND TRUST					
ARCHITECT:					
PROJECT: FIRST WORLD WAR CENTENARY WOODS LANGLEY VALE WOOD					
TITLE: OFF SITE SIGNAGE ROUTES					
SCALE @ AS:	DESIGN-DRAWN:	MD	DATE:		
1:25,000			18.06.2014		
PROJECT No:	DRAWING No:				
479		EIA-006			

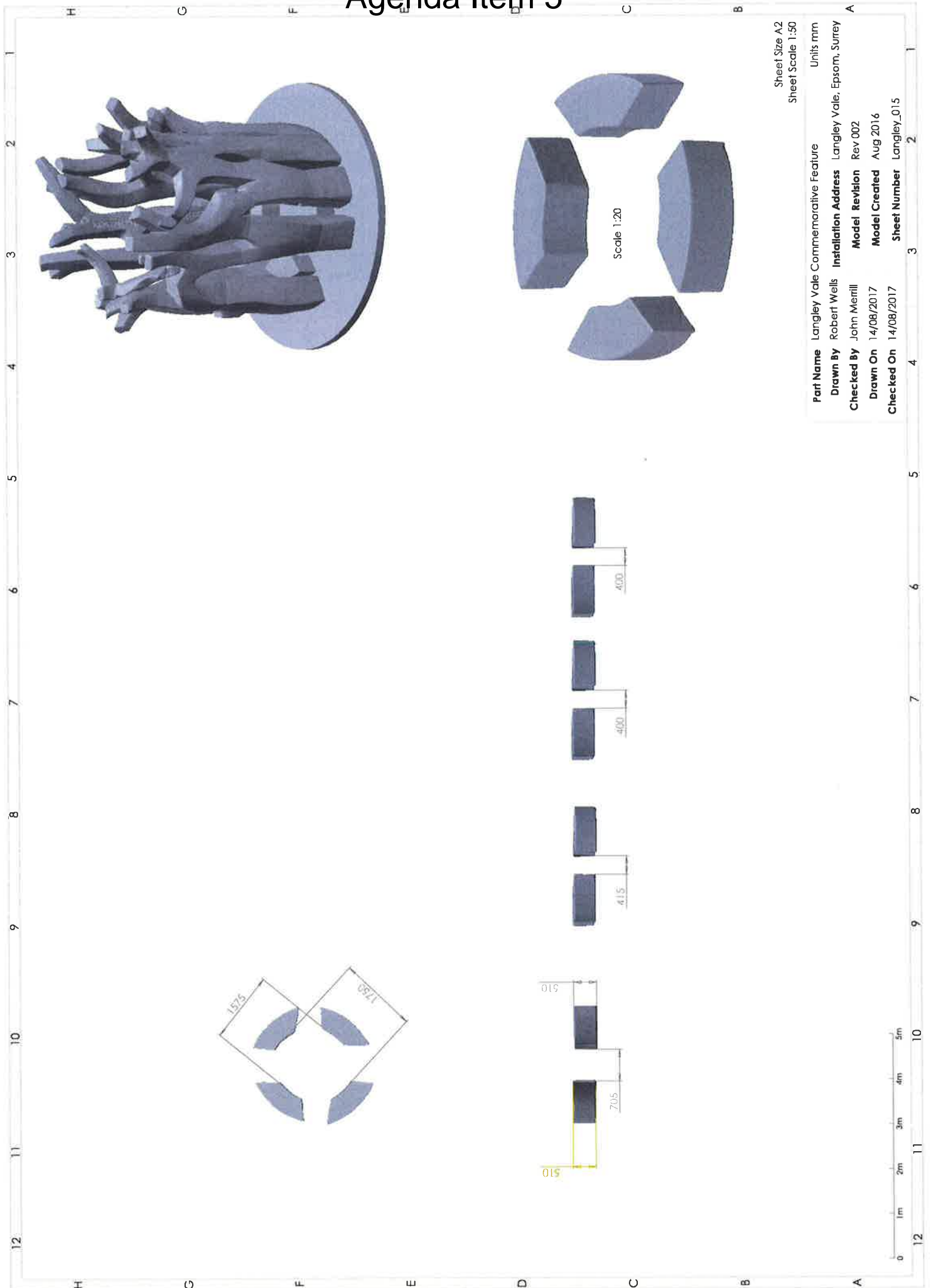
Agenda Item 5



Sheet Size A2
Sheet Scale 1:50

Part Name	Langley Vale Commemorative Feature	Units	mm
Drawn By	Robert Wells	Installation Address	Langley Vale, Epsom, Surrey
Checked By	John Merrill	Model Revision	Rev.002
Drawn On	14/08/2017	Model Created	Aug 2016
Checked On	14/08/2017	Sheet Number	Langley_014

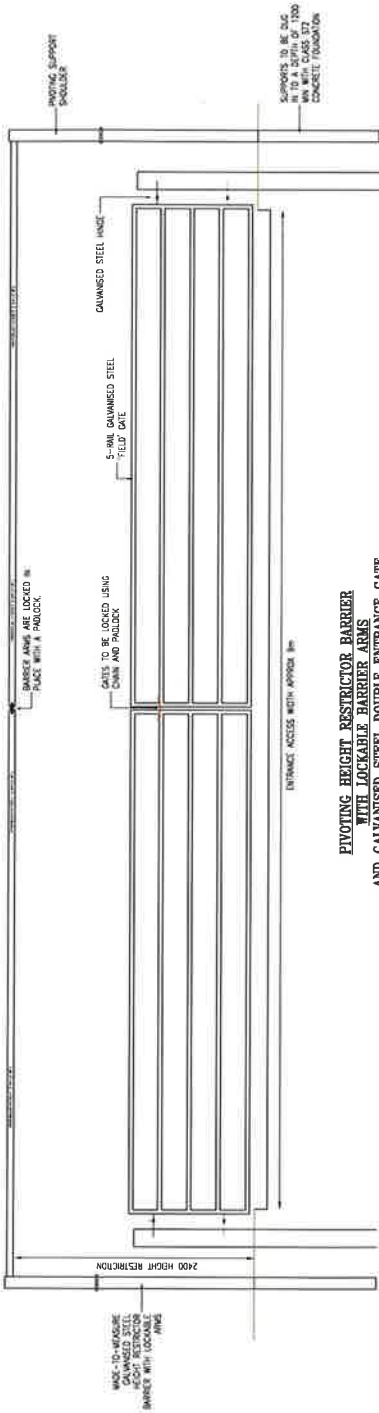
Agenda Item 5



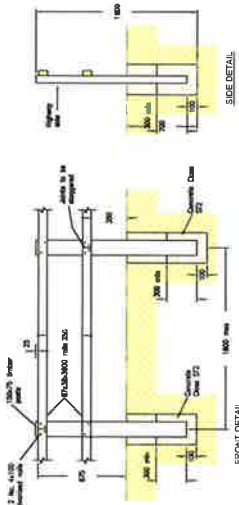
Part Name	Langley Vale Commemorative Feature	Units	mm
Drawn By	Robert Wells	Installation Address	Langley Vale, Epsom, Surrey
Checked By	John Merrill	Model Revision	Rev 002
Drawn On	14/08/2017	Model Created	Aug 2016
Checked On	14/08/2017	Sheet Number	Langley_015

Sheet Size A2
Sheet Scale 1:50

Agenda Item 5

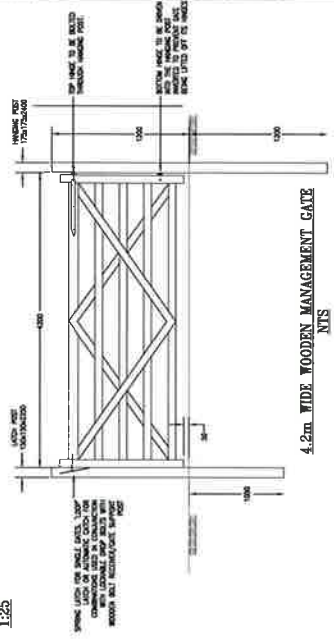


PIVOTING HEIGHT RESTRICTOR BARRIER WITH LOCKABLE BARRIER ARMS AND GALVANISED STEEL DOUBLE ENTRANCE GATE NTS



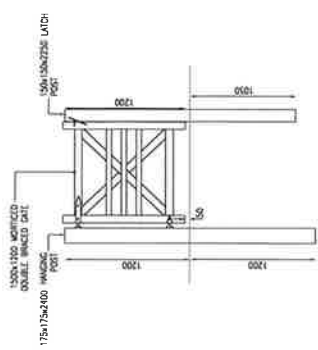
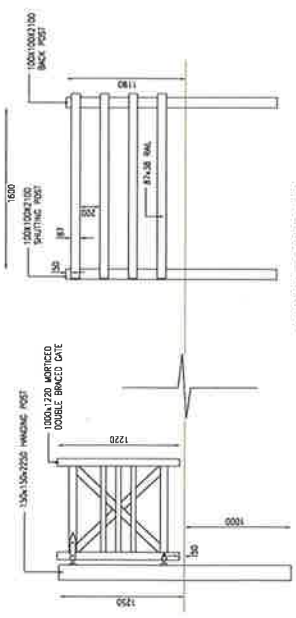
- Notes:
- All dimensions in millimetres unless otherwise stated.
 - Material and manufacture to be in accordance with U.S. 1772 part 7.
 - All timber and galvanized steel to be in accordance with the specification.
 - When specified, painting to be in accordance with the specification.
 - All posts to be set in 200mm dia. hole. Posts may be driven in, suitable ground with the permission of the Project Manager.
 - Posts set in 200mm dia. hole must be installed with a minimum concrete setting bed and compacted on the surrounding soil to a minimum depth of 100mm. Posts shall be set in concrete with a minimum depth of 100mm.

TWO RAIL WOODEN FENCE 1:25



4.2m WIDE WOODEN MANAGEMENT GATE NTS

TIMBER KISSING GATE FOR PEDESTRIAN/DISABLED USERS 1:25



SIMPLE BRIDLEWAY/HORSE GATE NTS

NO.	REV.	DATE	DESCRIPTION
1	1	18.03.2017	FOR INFORMATION

THE WOODLAND TRUST

FIRST WORLD WAR CENTENARY WOODS LANDLEY HALL CAR PARK

TYPICAL FENCING AND GATE DETAILS

DATE: 18.03.2017

SCALE: 1:25


PROJECT NO: EX-009

Agenda Item 5

Agenda Item 6

Planning Committee
3rd July 2019

Agenda Item: 6
19/00062/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	3 rd July 2019
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Rosie Baker
	TELEPHONE:	01737 276173
	EMAIL:	rosie.baker@reigate-banstead.gov.uk
AGENDA ITEM:	6	WARD: Horley East and Salfords

APPLICATION NUMBER:	19/00062/F	VALID:	27/2/2019
APPLICANT:	Southern Gas Networks	AGENT:	Carter Jonas
LOCATION:	HORLEY GAS HOLDER STATION, BALCOMBE ROAD, HORLEY		
DESCRIPTION:	Redevelopment of the site to incorporate the erection of a part two and part three storey office building together with associated car parking and cycle parking spaces, hard and soft landscaping and other ancillary works. As amended on 15/03/2019 and on 17/05/2019		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the proposed floorspace is greater than 250 sqm.

SUMMARY

This is a full planning application for the erection of a new office building (Use Class B1a) with associated car parking and cycle spaces, hard and soft landscaping and other ancillary works.

The application relates to a redundant gas holder located on a site within the Balcombe Road Industrial Area, (the site being adjacent to the Bridge Industrial Estate to the west and the Gatwick Metro Centre to the east). The existing gas holder is decommissioned, with the site used by SGN employees based at St Lawrence House to park their vehicles. Separate permission has been granted in 2018 via a Prior Notification of Proposed Demolition Application (App Ref. 18/01839/DED), to enable the gas holder, ancillary buildings and gas infrastructure to be dismantled. The current therefore only relates to the redevelopment of the site following the consented demolition and clearance of the existing site.

SGN currently occupy St Lawrence House, located within 0.3 miles of the site. St Lawrence House is not large enough to meet SGN's current or future employment or infrastructure and is no longer fit for purpose without significant investment. As such SGN seek to relocate their headquarters to the proposed new purpose built office accommodation to support up to 400 employees, (albeit not all would be on site at

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the same time). This would enable them to meet their business needs whilst retaining SGN's employment base within Horley and supporting the local economy.

The site is located within the urban area and is a part of a designated Employment Area in the 2005 Borough Local Plan. Whilst adopted Borough Local Plan employment policies seek to direct office uses to Town Centres and Town Centre Business Areas and reserve Employment Areas for B1 industrial, B2 or B8 uses, emerging Development Management Plan policy EMP2 allows office development within designated local employment areas such as this. As such given the significant weight that can now be attributed to policy EMP2 noting the advanced nature of the plan, together with the economic and employment benefits associated with the proposal, the site specific circumstances surrounding SGN's need for new office accommodation and their operational benefits from that being located at this site, and that the existing use does not contribute any direct employment, the proposal is considered to comply with emerging Development Management Plan policy EMP2, policies CS6 and CS6 of the Core Strategy and the provisions of the NPPF such that the conflict with Borough Local Plan EMP1, EMP2 and EMP8 is outweighed.

The proposed building would provide approx. 4,850 sqm (GIA) of office floorspace within a part two / part three storey 'C' shaped building. The building would be set towards the front of the site, closest to the southern boundary with the majority of the car parking located to the rear and visitor car parking to the front. A landscape scheme has been submitted to deliver an improved setting. The proposed part 2 / part 3 storey scale is considered acceptable in the context of the surrounding industrial and residential development as is the proposed size, layout, design and appearance of the building is considered to complement the existing character of the area.

The existing single vehicle access point into the site will be replaced by two vehicular accesses, to create a one-way system through the site. The entrance is proposed to the south-eastern edge of the site and will allow visitors access to visitor parking at the front of the site, whilst staff would continue along the eastern edge of the boundary to the staff car park to the rear. Whilst the access has been altered, vehicular access to the Scout Hut and the cycle and pedestrian access to residential dwellings beyond will be retained. Likewise access to Axiom Business Park from its north-eastern corner is maintained. Improvements are also proposed to the estate road to enable safe on-street parking and pedestrian movement from the Scout Hut and neighbouring industrial and residential units on to Balcombe Road. The improvements to the existing service roads are considered to enhance the visual appearance of the industrial area, and will improve the safety of pedestrian movements within the site.

The new parking area will provide a total of 148 parking spaces, including four disabled spaces. The County Highway Authority has assessed the application with respect to traffic generation, highway safety and parking and has no objection to the proposal subject to conditions, which include for a travel plan. The site's sustainable location is noted, sited approximately 0.3 miles to the north-east of Horley Town Centre and approximately 0.6 miles to the north-east of Horley Railway Station with good access to public transport and surrounding facilities and services.

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The nearest residential properties to the proposed development would be 7, 9, 10 and 12 Windmill Close, located a minimum of 35m to the south, to the north the closest property is 35 Cloverfields sited over 70m from the office building. Generous separation distances would exist between the proposed built form and neighbouring properties and given the present level of landscaping along the northern boundary and the existing outlook, the proposal is judged to be acceptable in terms of its impacts to neighbouring properties.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: No objection subject to condition, including securing travel plan. The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions

Environmental Health (Contaminated Land): There is potential for contamination to be present associated with the historic use of the site as a gas holder, as such conditions to deal with contaminated land and an informative to provide additional guidance is recommended.

SCC Sustainable Drainage: No objection subject to conditions

SCC Minerals and Waste: No comment

Thames Water: No objection. Advice offered to applicant.

Horley Town Council: Supports the application but comments as follows: i) seeks assurance that appropriate works will be carried out to clear the site of previous use before construction ii) expresses concern about the junction with Balcombe road and the possibility of congestion given the amount of increased traffic, over and above that generated by the Metro Centre.

Archaeology: The application is accompanied by an archaeological desk based assessment produced by AOC Archaeology. The assessment concludes that the site has a low archaeological potential but that the gas holder itself should be considered as a local heritage asset and should therefore be recorded in advance of its loss. The County Archaeologist agrees that the gas holder should be recorded to Historic England Level II (Drawn and photographic record). On this basis no objection is raised subject to a condition requiring the implementation of a programme of archaeological Building Recording in accordance with a Written Scheme of Investigation submitted by the applicant and approved by the LPA.

Surrey Wildlife Trust: Initial objection to proposal as a result of inadequate detail submitted regarding reptile mitigation strategy. Following receipt of additional information, position revised to no objection subject to conditions.

Representations:

Letters were sent to neighbouring properties on 1st March 2019, a site notice was posted on 5th March 2019 and advertised in local press on 14th March 2019.

1 response has been received raising the following issues:

Issue	Response
Inadequate parking	See paragraph 6.16 – 6.22

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Increase in traffic and congestion	See paragraph 6.16 – 6.22
Drainage / sewerage capacity	See paragraph 6.30-6.31
Overlooking and loss of privacy to rear garden of 39 Cloverfield	See paragraph 6.23 – 6.26
Loss of private view	This is not a material planning consideration

1.0 Site and Character Appraisal

- 1.1 The site comprises an existing gasholder with associated plant and ancillary buildings. The gasholder is set within a large site, much of which is open grass/scrub or laid to hardstanding. The gas holder is decommissioned and the site is used by SGN employees based at St Lawrence House to park their vehicles.
- 1.2 The site is accessed from Balcombe Road via a private estate road to the south which also serves the adjoining industrial buildings and Gatwick Metro Centre. There is a dense belt of trees along much of the northern boundary of the site and a group of smaller trees on the southern boundary.
- 1.3 The site is located within the urban area and is a part of a designated Employment Area in the 2005 Borough Local Plan. The site lies just to the east of Horley Town Centre which is a short distance away. In terms of surrounding character and land uses, to the east and west, the site is bounded by industrial and commercial premises of varying ages, including the more modern estate at Gatwick Metro Centre to the east. To the north is a modern housing estate, with an area of communal open space/playground and a small scout hut immediately abutting the northern boundary. The scout hut accommodates a children's nursery during the day and scout meetings on some evenings. To the south on the opposite side of the access road is further residential development, particularly at Windmill Close.
- 1.4 The site is located in a sustainable location with good access to public transport and surrounding facilities and services. It is approximately 0.3 miles to the north-east of Horley Town Centre and approximately 0.6 miles to the north-east of Horley Railway Station.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council. Advice was provided regarding the principle of redevelopment and advice regarding the detailed layout and design. A number of improvements were secured.
- 2.2 Improvements secured during the course of the application: Additional ecology information relating to protected species surveys undertaken, including May 2019 reptile survey report together with reptile mitigation strategy. Updated travel plan provided to be secured by condition.

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- 2.3 Further improvements could be secured through the use of conditions, including with respect of the travel plan, which includes a requirement for a financial contribution of £6,150 to be paid to SCC Travel Plan Officer, prior to occupation of the development to fund the auditing and monitoring of the travel plan. Detailed contamination conditions also proposed.. See condition schedule for full list of proposed conditions.

3.0 Relevant Planning and Enforcement History

- 3.1 18/01839/DED Dismantling of the existing gasholder and ancillary buildings No objection 29.08.2018
- 3.2 There are some historic applications related to the gas infrastructure/storage use of the site but with the exception of the above no recent planning applications relating to redevelopment of the site.

4.0 Proposal and Design Approach

- 4.1 This is a full application for the redevelopment of the Horley Gas Holder site to incorporate the erection of a part two and part 3 storey office building together with associated car parking and cycle parking spaces, hard and soft landscaping and other ancillary works.
- 4.2 SGN manages a gas network that distributes natural and green gas to homes and businesses across Scotland and the South of England. Advances in technology and changes in gas provision across the country enables gas to now be stored within the underground pipes, which makes the existing gasholder structures redundant. In 2013 SGN commenced a programme of decommissioning all of its gasholders, dismantling the existing gas infrastructure and redeveloping sites.
- 4.3 The Horley gas holder site has been decommissioned and permission was granted in 2018 via a Prior Notification of Proposed Demolition Application (App Ref. 18/01839/DED), to enable the gas holder, ancillary buildings and gas infrastructure to be dismantled.
- 4.4 The proposed new office would enable SGN to vacate their existing office facility at St Lawrence House, Horley, approximately 0.3 miles to the south-west of the site. The applicant states that relocation from St Lawrence House is required, as the current facility cannot meet the company's specific infrastructure needs, nor does it provide a modern office environment for current and future employment needs. The proposed development would enable SGN to relocate to a purpose built bespoke office suitable for their current and future needs, whilst retaining SGN's employment base in Horley, and which benefits both SGN and the local economy. The proposed office would provide a new headquarters for SGN and support approximately 400 employees, (albeit not all would be on site at the same time)
- 4.5 The proposed building would provide approx. 4,850 sqm (GIA) of office floorspace within a part two / part three storey 'C' shaped building, which

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would span the width of the site. The building would be set towards the front of the site, closest to the southern boundary with the majority of the car parking located to the rear and visitor car parking to the front. A landscape scheme has been submitted to deliver an improved setting. The tallest three-storey element of the building would be located on the north-west and south-west corners of the building. These elements are proposed with pitched roofs, with the central two storey element proposed with a flat roof.

- 4.6 Two accesses are proposed into the building one to the rear for employees of SGN and another visitor entrance at the front. The existing single vehicle access point into the site will be replaced by two vehicular accesses, to create a one-way system through the site. The entrance is proposed to the south-eastern edge of the site and will allow visitors access to visitor parking at the front of the site, whilst staff would continue along the eastern edge of the boundary to the staff car park to the rear. Visitors will exit from the front of the site, where they entered, whereas the staff will exit from the north-western corner of the site onto the access road that runs parallel to its western edge.
- 4.7 Whilst the access has been altered, vehicular access to the Scout Hut and the cycle and pedestrian access to residential dwellings beyond will be retained. Likewise access to Axiom Business Park from its north-eastern corner is maintained. The new parking area will provide a total of 148 parking spaces, including four disabled spaces. Improvements are also proposed to the estate road to enable safe on-street parking and pedestrian movement from the Scout Hut and neighbouring industrial and residential units on to Balcombe Road.
- 4.8 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.9 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as a mix of residential and employment uses
	With the exception of trees, as identified on the tree protection plan no site features worthy of retention were identified.
Involvement	Pre-application meetings took place separately with both RBBC officers and the County Highway Authority. The developer also undertook a leaflet drop of local residents and business on 8 October 2018 and a public exhibition

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	event took place on 18 th October 2018 between 3.30pm and 8pm at the Alber Rooms (92 Albert Road, Horley). The event was attended by 25 people.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The applicant's reasons for choosing the proposal from the available options were that it enables SGN to relocate to a purpose built modern bespoke facility that meets their existing and future requirements, which their current offices at St Lawrence House do not, whilst retaining SGN's employment base in Horley close to the town centre and railway station.

4.10 Further details of the development are as follows:

Site area	1.16ha
Existing use	Gas holder site
Proposed use	Office (B1a)
Proposed floorspace	4,850 sqm
Proposed parking spaces	148 Inc. 4 disabled spaces
Local Plan Parking standard (maximum)	162
DMP Parking standard (maximum)	162
Proposed cycle spaces	40

5.0 Policy Context

5.1 Designation

Urban area

Employment Area - Borough Local Plan policy Em1, Em2 and Em8

Local employment Area – Emerging DMP policy EMP2

Majority of site within flood zone 1, the southern edge of the site is situated within flood zone 2

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)

CS4 (Valued Townscapes and Historic Environment)

CS5 (Valued People/Economic Development),

CS10 (Sustainable Development),

CS11 (Sustainable Construction),

CS12 (Infrastructure Delivery),

CS17 (Travel Options and accessibility)

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5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc4
Employment	Em1, Em1A, Em2, Em3, Em8
Utilities	Ut4
Movement	Mo4, Mo5, Mo7

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Emerging Development Management Plan EMP2, DES1, DES8, DES9, TAP1, CCF1, CCF2, NHE2, NHE3, INF1

Supplementary Planning Guidance Surrey Design
Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018

Other Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 **Assessment**

6.1 The main issues to consider are:

- Principle of office development
- Design appraisal
- Highway matters
- Neighbour amenity
- Ecology
- Community Infrastructure Levy
- Infrastructure contributions
- Other matters

Principle of office development

6.2 The site is within a designated Employment Area as set out in the 2005 Borough Local Plan: in this regard, the provisions of Policy Em1 and Em8 are relevant. Both seek to direct office uses to Town Centres and Town Centre Business Areas and reserve Employment Areas for B1 industrial, B2 or B8 uses.

6.3 In this regard, the proposals for office use on this site would run strictly contrary to the aims of these policies. However in this case there is

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appropriate justification for the redevelopment of the site for B1a office accommodation:

- i) The development would make best use of a brownfield site
- ii) Although designated as an Employment Area the site does not support any direct employment
- iii) The development would enable the continuation of employment use on the site (albeit as B1 office use as opposed to B1 industrial, B2 or B8 within the wider site)

The above factors find favour with the strategic aims of Core Strategy CS5 and CS6 supporting the case for redevelopment.

- iv) More pertinent is the specific circumstances surrounding SGN's need for new office accommodation. It is noted that SGN already has an office facility within Horley at St Lawrence House (0.3 miles away); however, there are specific (and important) infrastructure and associated security needs which the current building would be unable to satisfy (or not cost effectively) moving forward. Furthermore, the current building accommodates some 336 staff but would be unable to accommodate any future growth or change in the business. The proposed development would therefore allow for this particular infrastructure requirement to be met whilst also allowing for the current jobs/employment base to be retained in Horley which would be beneficial to both SGN and the local economy. This would be consistent with the aims of the Framework (paragraph 180) which encourages decisions which allow businesses to expand, invest and adapt.

6.4 These combined considerations and circumstances in my view, are of sufficient weight to justify office development on this site as an exception to policy Em8.

6.5 Further the emerging Development Management Plan is at an advanced stage of preparation, due for adoption in July 2019 and is a material consideration in the determination of this application. Emerging policies EMP2 show a step change from the adopted employment policy position, with EMP2 identifying Balcombe Road Industrial Estate as a Local Employment Area which could accommodate a range of uses, including offices, (provided the proposal is of an appropriate scale for the area and does not conflict with the amenity or operation of neighbouring land uses). Given the advanced stage of the Development Management Plan, and noting the provisions of paragraph 48 of the NPPF significant weight can be attributed to this emerging policy position.

6.6 In light of the above there is no objection in principle to the introduction of office development on this site and the proposal is considered to comply with emerging Development Management Plan policy EMP2 and Core Strategy policies CS5 and CS6 such that the conflict with Borough Local Plan policies Em1, Em2 and Em8 is outweighed.

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Design appraisal

- 6.7 The proposed scale, massing and site coverage is considered to reflect the scale and nature of development within the locality where there are a variety of building forms. The proposed part 2 / part 3 storey building height is considered appropriate, noting the 3 storey elements are limited in extent, and in keeping with the heights of the adjacent two and three storey commercial/industrial premises and surrounding residential development to the south and east.
- 6.8 During pre-application discussions the applicant was encouraged to relocate the building further to the south to establish a frontage to the estate road, with all the parking located to the rear of the site. The applicant has clarified that this is not possible due to the siting of gas infrastructure within the ground. Notwithstanding this the layout locates the building towards the front of the site with the majority of the car parking to the rear. The set back required in light of the in ground gas infrastructure, creates an area for visitor parking to the front and increase the distance between the building and residential properties to the south. Overall the layout allows an improved landscaped frontage to the site and a more positive streetscape onto the private estate road.
- 6.9 A range of materials are proposed in keeping with the character of buildings in the immediate surrounding area. The main elevations are proposed in facing brickwork with the link sections providing contrast with coloured insulated render finish. The southern elevation, which forms the primary frontage of the building would be emphasised by change in material to fully glazed curtain walling panels. The roof off the main office areas would be dual pitched in slate tiles with flat roof areas to each linked section. The south facing pitched roof to the north wing has been designed to accommodate any future PV panel installation. A stainless steel railing with glazed panels is proposed to the flat second floor with louvred acoustic screening to the plant area. Overall the appearance of the building is considered satisfactory and materials, the design and location of photovoltaics, and details of the acoustic screening for the plant are proposed to be controlled by condition.
- 6.10 In accordance with Policy CS11 of the Core Strategy, the new building would be designed and constructed to achieve BREEAM 'Very Good' and a condition is proposed in this respect. The building would include the following energy efficiency measures:
- Passive design measures to reduce energy demand at source
 - Building fabric and air permeability performance in excess of regulatory requirements
 - High efficiency light fittings and controls
 - Efficient mechanical ventilation and heat recovery AHU's and BMS controls
 - High efficiency gas fired boilers for hot water generation and secondary heating
 - High efficient low carbon VRF technology heating and cooling

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- 6.11 The application is supported by arboricultural information and an indicative landscape scheme. The relatively mature trees along the northern boundary of the site with the adjoining residential estate/play area, which serve as a verdant backdrop to the site and contribute to visual amenity and landscape character would be retained and enhanced helping to preserve this character and maintain the existing screening to the residential properties to the north. The proposal would result in the loss of 9 trees, all of which have been categorised as 'C' trees losses and would retain important boundary trees. Whilst the proposed development will result in incursion into the calculated root protection areas of some of the retained trees; none of the incursions are in excess of the guidance provided within section 7 of the British Standard and subject to adequate tree protection measures, supervision and monitoring should suffer no long lasting damage from the proposal. Some 'facilitation' pruning is required should consent be granted and these works are relatively minor and involve crown lifting. The indicative landscape scheme has been reviewed and it is considered that there is sufficient space available within the proposed site both around (and to the front) of the building and within the car parking areas to support replacement structural tree planting and meaningful landscape including the provision of managed native hedging. The landscape scheme would help soften the development and break up expansive areas of hardstanding. As such the tree officer has no objection to the proposal subject to conditions in relation to tree protection and landscaping and the application is considered to comply with Pc4 of the Borough Local Plan in this regard.
- 6.12 The application proposes perimeter fencing at 2.4m height, except around the frontage of the site, required for security purposes. In addition controlled access barriers are proposed for both the staff and visitor car park. Whilst this is not objectionable in principle, any fencing should be kept to a minimum and both fencing and barriers should be of a height; appearance and siting which avoids detracting from the character of the locale or giving an unduly harsh/austere feel to the scheme. A condition is proposed in this respect. It is noted the site has existing chain link perimeter fencing with concrete posts to 2.4m in height.
- 6.13 In the absence of external lighting details, a condition would be attached to a grant of planning permission requiring details to be submitted and approved prior to commencement of development.
- 6.14 Overall it is considered that the proposals would have an acceptable impact on the character and appearance of the area and would assist with improving the design quality. The proposals are therefore considered to comply with national policy and local policies Em3, CS4, CS10 and emerging policy DES1.
- 6.15 The developer is reminded that separate advertisement consent would be required in relation to signage / advertisement proposals, an informative is proposed in this respect.

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Highway matters

- 6.16 The proposed development would be accessed from the existing industrial estate access road which joins to Balcombe Road. Whilst not a material planning consideration it is noted that SGN has ownership and therefore control of the private estate roads along the southern boundary of the site from the Balcombe Road junction to the point of the entrance to the Gatwick Metro Centre and along the western boundary of the site up to the northern boundary with the residential estate (Cloverfields) and Scout Hut. Various third parties retain rights of access along the Estate roads owned by SGN.
- 6.17 The car park for the proposed new office will be served by two accesses, one from the service road which runs along the western boundary of the site and one from the unnamed access road to the south. A one-way system would be in operation for the staff car park to the rear. Swept path analysis has been submitted to demonstrate that a refuse vehicle and fire tender can enter and exit the site in a forward gear and it has been demonstrated that the accesses provide acceptable visibility splays.
- 6.18 The proposed works to realign and upgrade the access roads would also include for new footpaths and a pedestrian crossing to provide a clearer and safer route for the pedestrians between the town centre and the residential area to the north of the site and improve the pedestrian access to the existing Scout Hut / East Horley Playgroup just beyond the northern boundary. The design of the proposed works to the access roads to the south and west of the site would also include for regularising and formalising the parking on the southern access road to optimise capacity and improve visibility and safety. In addition provide 3 parking spaces at the north of the site for use by the Scout Hut. Additional traffic calming measures would be introduced along the west access road.
- 6.19 The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The applicant has submitted a Transport Assessment prepared by Glanville Consultants which confirms that following analysis of the junctions around the site it has been demonstrated that all junctions within the study area would continue to operate within their design capacity and that additional traffic generated by the proposal would not have a detrimental impact. The conclusions of report are accepted by the CHA.
- 6.20 With regards to parking the scheme proposes 148 parking spaces including 4 disabled spaces. Both Borough Local Plan and emerging DMP policy TAP1 require B1 office development to provide 1 space per 30sqm of floorspace and disabled parking at 5% of the total, resulting in a provision of 162 spaces. Based on the maximum car parking accumulation, a comparative assessment of the existing parking demand at St Lawrence House the applicant's existing office accommodation and noting the provision of a travel plan the parking provision is considered acceptable by the CHA and no objection has been

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raised in this regard. The site's location is also noted, it being reasonably accessible and sustainable in terms of both proximity to Horley Town Centre, Horley rail station and bus services. As such the level of parking is considered to provide an appropriate balance between promoting sustainable travel and avoiding displacement staff parking onto adjoining residential roads.

- 6.21 A draft travel plan has been submitted to encourage employees to travel sustainably to and from the site in accordance with Core Strategy CS17. The methods include reducing reliance on single occupancy car trips in line with a 5 year monitoring regime, the employment of a Travel Plan Coordinator to inform employees of travel options, including public transport information, car share schemes, cycle to work scheme, cycle parking etc and the implementation of an action plan to programme the delivering of measures and means of communicating this to SGN employees. Subject to the provision of a final travel plan which should be updated to include the additional information requested by the CHA and the provision of an audit fee to SCC, both of which to be secured by condition the development is considered acceptable in this respect.
- 6.22 In light of the above the County Highway Authority has no highway requirements subject to conditions and the development is considered to comply with Borough Local Plan policies Mo4, Mo5 and Mo7, Core Strategy Policy CS17, Emerging DMP policy TAP1 and the provisions of the NPPF in this regard.

Neighbour amenity

- 6.23 The proposed building would be sited to retain a distance of 35m to the closest residential property on Windmill Close to the south of the site and over 70m to the closest residential property on Cloverfields to the north of the site. As such given the location of the site, surroundings, separation distances and the height/scale of the proposed building the proposal would have an acceptable impact on the amenity of neighbouring residential properties and there would be no material harm with respect to overlooking, loss of privacy, overshadowing, dominance or overbearing.
- 6.24 The strengthening of existing tree screening along the northern boundary would help to further provide a buffer between the commercial development/car park and the residential area to the north, this planting would be secured via the proposed landscape condition.
- 6.25 The positioning of plant/machinery should be carefully considered to avoid noise disturbance to residential properties. As shown on the roof plan the siting of plant is limited to the central flat roofed section and would be screened by an acoustic screen to provide an appropriate visual and acoustic barrier, details of which are proposed to be conditioned.
- 6.26 While giving rise to a degree of change in the relationship between buildings, the proposed scheme would not adversely affect the amenity of neighbouring

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properties, and complies with policy Em3 of the Borough Local Plan and emerging DMP policy DES1.

Community Infrastructure Levy (CIL)

- 6.27 The Council adopted the Community Infrastructure Levy on 1 April 2016. It is a fixed charge which the Council will be collecting from some new developments to raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. As the proposal involves the creation of offices, it would fall outside of the uses which are chargeable under the Council's adopted Charging Schedule. As such the development would not be CIL liable.

Other Matters

- 6.28 The site is located within flood zone 1, with a small area on the edge of the southern access road within flood zone 2. The area of land within flood zone 2 is remote from the proposed office building and car parking areas and as such the site is considered appropriate for the proposed land use in accordance with local plan policy Ut4.
- 6.29 A Flood Risk Assessment has been submitted in support of the application together with a sustainable drainage assessment and strategy to manage surface water run off. The details have been assessed by both the Environment Agency with respect of flooding and SCC Sustainable drainage team with respect to surface water and have been considered acceptable subject to the conditions proposed. Sewerage would be assessed at a later date as part of Building Regulation.
- 6.30 A Preliminary Risk Assessment dated 28 September 2018 has been undertaken with respect to ground conditions. This report has been considered by the Councils Environmental Health officer. Subject to further assessment and detailed conditions the site is considered suitable for a proposed office use in respect of land contamination.
- 6.31 The application is supported by a variety of ecology reports following a Phase I habitat and protected species surveys on the site. Although the site comprises predominantly hardstanding, grassland and the gas holder, there are discrete areas of ruderal vegetation, trees and scrub around the existing buildings. Surrey Wildlife Trust has reviewed the application and confirmed a position of no objection subject to a number of conditions.
- 6.32 Bat surveys has confirmed the existing buildings have negligible potential for roosting bats, however no evaluation of the site has been undertaken with regards to the potential for active bat roosts within trees on the site. The applicant has confirmed that the existing trees do not support features considered suitable for use by roosting bats. As such no further mitigation is required in this regard.

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- 6.33 The reptile survey found a good population of slow work on the site and reptile mitigation has been outlined and is subject to a proposed condition, noting that translocation to the identified off-site receptor site will require a license from Natural England.
- 6.34 The badger monitoring survey found the mammal excavations were no longer in use by this species and a precautionary approach in respect of badgers is recommended with a further badger survey required immediately prior to the start of development works to check for any new signs of badger sett construction on site.
- 6.35 In addition a precautionary approach to breeding birds is recommended and a further condition is proposed to secure the recommendations for the management of the site to achieve a net gain in biodiversity.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Landscaping Plan	2818-LA-01	P1	11.01.2019
Detailed Technical	4269-5-4-SK-2000		26.02.2019
Site Layout Plan	4269-5-4-SK-1000		26.02.2019
Location Plan	8180162-5000	P2	26.02.2019
Site Layout Plan	8180162-5001-1	P2	26.02.2019
Site Layout Plan	8180162-5001-2	P2	26.02.2019
Site Layout Plan	8180162-5001-3	P2	26.02.2019
Site Layout Plan	8180162-5005	P2	26.02.2019
Site Layout Plan	8180162-5020	P7	26.02.2019
Floor Plan	8180162-5021	P6	26.02.2019
Floor Plan	8180162-5022	P5	26.02.2019
Floor Plan	8180162-5023	P5	26.02.2019
Roof Plan	8180162-5024	P4	26.02.2019
Elevation Plan	8180162-5025	P4	26.02.2019
Elevation Plan	8180162-5026	P2	26.02.2019
Elevation Plan	8180162-5027	P2	26.02.2019
Elevation Plan	8180162-5028	P2	26.02.2019
Street Scene	8180162-5029	P2	26.02.2019
Street Scene	8180162-5030	P2	26.02.2019
Street Scene	8180162-5031	P2	26.02.2019
Street Scene	8180162-5032	P2	26.02.2019

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Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the applicant has secured the implementation of a programme of archaeological Building Recording in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Planning Authority.

Reason: The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to the Reigate and Banstead Borough Local Plan 2005 policy Pc8.

4. No development shall commence including demolition and or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 of the Reigate and Banstead Borough Local Plan

5. No development shall commence until a European Protected Species (EPS) license from Natural England is obtained for development works affecting reptiles (slow worms). Thereafter the work shall be undertaken in strict accordance with the Natural England approved Method Statement and recommendations as outlined in the approved Reptile Survey Report: Proposed receptor site at Old Wickhurst Lane (dated 17th May 2019). A copy of the license should be submitted to the Local Planning Authority.

Reason: To ensure that any protected species or the habitats thereof are safeguarded with respect to policy Pc2G of the Reigate and Banstead Borough Local Plan 2005, policy CS10 of the Reigate and Banstead Core Strategy and the provisions of the NPPF.

6. Prior to the commencement of development a further badger survey, to check for any new signs of badger sett construction on site, shall be undertaken by a qualified ecologist, the results of which shall be submitted in writing to the Local Planning Authority for approval prior to the commencement of

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development together with any further mitigation if required, which should be undertaken in strict accordance with the approved details.

Reason: In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G.

7. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

8. Prior to the commencement of development, in follow-up to the environmental desktop study report, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

9. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional

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requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

10. A. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

B. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should be in accordance with CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

11. No development, (excluding demolition), shall take place until evidence that the development is registered with a BREEAM certification body and a pre-assessment report (or design stage certificate) indicating that the development can achieve a 'Very Good' rating has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the development is constructed to appropriate sustainability standards with regard to Policy CS11 of the Reigate and Banstead Core Strategy 2014.

12. No development shall take place (excluding demolition) until the developer obtains the Local Planning Authority's written approval of details of both

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existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Em3.

13. The development hereby permitted shall not commence (excluding demolition) until details of the design of a surface water drainage scheme has been submitted to and approved in writing by the local planning authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDs, NPPF and Ministerial Statement on SuDs. The required drainage details shall include:

- a) Evidence that the proposed final solution will effectively manage the 1 in 30 and 1 in 100 (+40% allowance for climate change) storm events, during all stages of the development (Pre, Post and during), associated discharge rates and storage volumes shall be provided using a maximum discharge rate of 4.9l/s for the 1 in 1 year rainfall event and 7.7 l/s for the 1 in 100 (+cc) rainfall event
- b) Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels and long and cross sections of each element including details of any flow restrictions and maintenance / risk reducing features (silt traps, inspections chambers etc)
- c) Evidence that the existing surface water sewer within the access road is fit for purpose
- d) A plan showing exceedance flows (ie during rainfall greater than design events or during blockage) and how property on and offsite will be protected
- e) Details of drainage management responsibilities and maintenance regimes for the drainage system
- f) Details of how the final drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational

Reason: To ensure the design meets the technical standards for SuDs and the final drainage design does not increase flood risk on or off site in accordance with Policy Ut4, Core Strategy Policy CS10 and the NPPF

14. No development, excluding demolition, shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) programme of works (including measures for traffic management)
- (e) provision of boundary hoarding behind any visibility zones

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(f) HGV deliveries and hours of operation
(g) vehicle routing to and from the site
(h) measures to prevent the deposit of materials on the highway
(i) no HGV movements to or from the site shall take place between the hours of 0800 and 0930am and 1700 and 1800pm
(j) on-site turning for construction vehicles
has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2019.

15. No development shall take place above slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policy Em3.

16. No development above slab level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4 of the Reigate and Banstead Borough Local Plan 2005.

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17. Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices / areas, flow restriction devices and outfalls).

Reason: To ensure that the Sustainable Drainage System has been constructed as agreed and to prevent flooding with regards to Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005 and Policy CS10 of the Core Strategy 2014, as well as the requirements of the Non-statutory technical standards.

18. The development hereby approved shall not be first occupied unless and until the proposed vehicular access arrangements have been constructed in accordance with the approved plan numbered 8180162-5020 Rev P7

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2019

19. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plan 8180162-5020 Rev P7 for 148 vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2019.

20. The development hereby approved shall not be first occupied unless and until 15 of the 148 parking spaces are provided with a fast charge socket in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority, with a further 15 of the available spaces identified to be provided with power supply to provide additional fast charge sockets should demand be ascertained from monitoring through the travel plan. The fast charge sockets and parking shall thereafter be retained and maintained for their designated purpose to the satisfaction of the Local Planning Authority

Reason: In recognition of Section 4 'Promoting Sustainable Transport' in the NPPF 2019, and policy CS17 of the Core Strategy (2014).

21. The development hereby approved shall not be first occupied unless and until the following facilities have been provided in accordance with the approved plans for:

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(a) The secure parking of 40 bicycles in an accessible and sheltered location and thereafter the said approved facilities shall be provided, retained and maintained to the satisfaction of the Local Planning Authority

Reason: In recognition of Section 4 "Promoting Sustainable Transport" in the National Planning Policy Framework 2012 and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005), and policy CS17 of the Core Strategy (2014).

22. Notwithstanding the submitted travel plan prior to the occupation of the development a revised Travel Plan comprising measures to encourage and promote sustainable travel shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework and Surrey County Council's "Travel Plans Good Practice Guide".

Prior to the occupation of the development the travel plan audit fee of £6,150 as set out within the Travel Plan, shall be paid to Surrey County Council Travel Plan officer and any other successor in title.

And then the approved Travel Statement shall be implemented upon first occupation of the development and thereafter maintained to the satisfaction of the Local Planning Authority.

Reason: In recognition of Section 4 "Promoting Sustainable Transport" in the National Planning Policy Framework 2012 and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005), and policy CS17 of the Core Strategy (2014).

23. Prior to first occupation or installation (whichever is first) details of the siting and design of any photovoltaics or solar panels shall be submitted for the written approval of the Local Planning Authority.

Reason: To safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Em3.

24. Prior to first occupation or installation (whichever is first) details of the acoustic fence to the roof plant shall be submitted to and approved in writing by the local planning authority. The noise barrier shall be completed before the occupation of the development hereby permitted and shall be permanently maintained thereafter by the landowner.

Reason: To protect the occupants of the proposed development and the amenities of the locality from noise disturbance with regard to Reigate and Banstead Borough Local Plan 2005 policies Em3.

25. Prior to first occupation or installation (whichever is first) details of all external lighting shall be submitted to and approved, in writing, by the Planning Authority, and there shall be no variance in external lighting other than as approved.

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Reason: In the interests of the amenities of neighbouring residential properties with regard to Reigate and Banstead Borough Local Plan 2005 policies Em3.

26. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment, including security fencing and details of any external access controls / barriers to be erected have been submitted to and approved in writing by the Local Planning Authority. The boundary treatment and access barriers shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Em3 and Pc4.

27. The development hereby approved shall be carried out in accordance with the recommendations for mitigation, construction practice and ecological enhancement identified in the Preliminary Ecological Appraisal by CT Ecology dated 3rd August 2018, except where this is superseded by the Reptile Survey Report dated 17th May and Building 2 Bat Roost Assessment Summary dated 16 September 2018.

Reason: In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G

28. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10 and the provisions of the NPPF

INFORMATIVES

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1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that this permission does not authorize the display of advertisements at the premises and a separate application for advertisement consent will be required from the Local Planning Authority under the Town and Country Planning (Control of Advertisement) Regulations 2007.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of

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the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

6. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering
7. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway or verge to form a vehicle crossover or to install dropped kerbs. Please see: www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs.
8. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
9. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture / equipment.
10. With regard to condition no 12 above, the developer is reminded to include within a revised travel plan a financial contribution of £6,150 payable to Surrey County Council Travel Plan Officer and any other successors in title before occupation of the development towards auditing the travel plan, a car park management plan to provide space for car share drivers, a car lift home scheme for car share buddies, personalised travel planning, TRICS SAM surveys, a commitment to send monitoring reports to Surrey County Council Travel Plan Officer for auditing the monitoring of the travel plan, a commitment to monitor the travel plan for a period of up to nine years if the targets are not met by year five, provision of travel information packs to staff, promotion of bus and rail travel and a commitment to monitor the use of electric vehicle charging points and to provide more sockets if there is

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demand to provide more. The developer attention is also drawn to the comments of the County Highway Authority with regards to the travel plan in their consultation response.

11. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of conditions 5 and 6. All works shall comply with the recommendations and guidelines contained within British Standard 5837. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality and have a strong native influence. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity, screening and long term continued structural tree cover in this area.
12. If proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written consent. If proposed works result in infiltration of surface water to ground within a Source Protection Zone the Environment Agency will require proof of surface water treatment to achieve water quality standards.

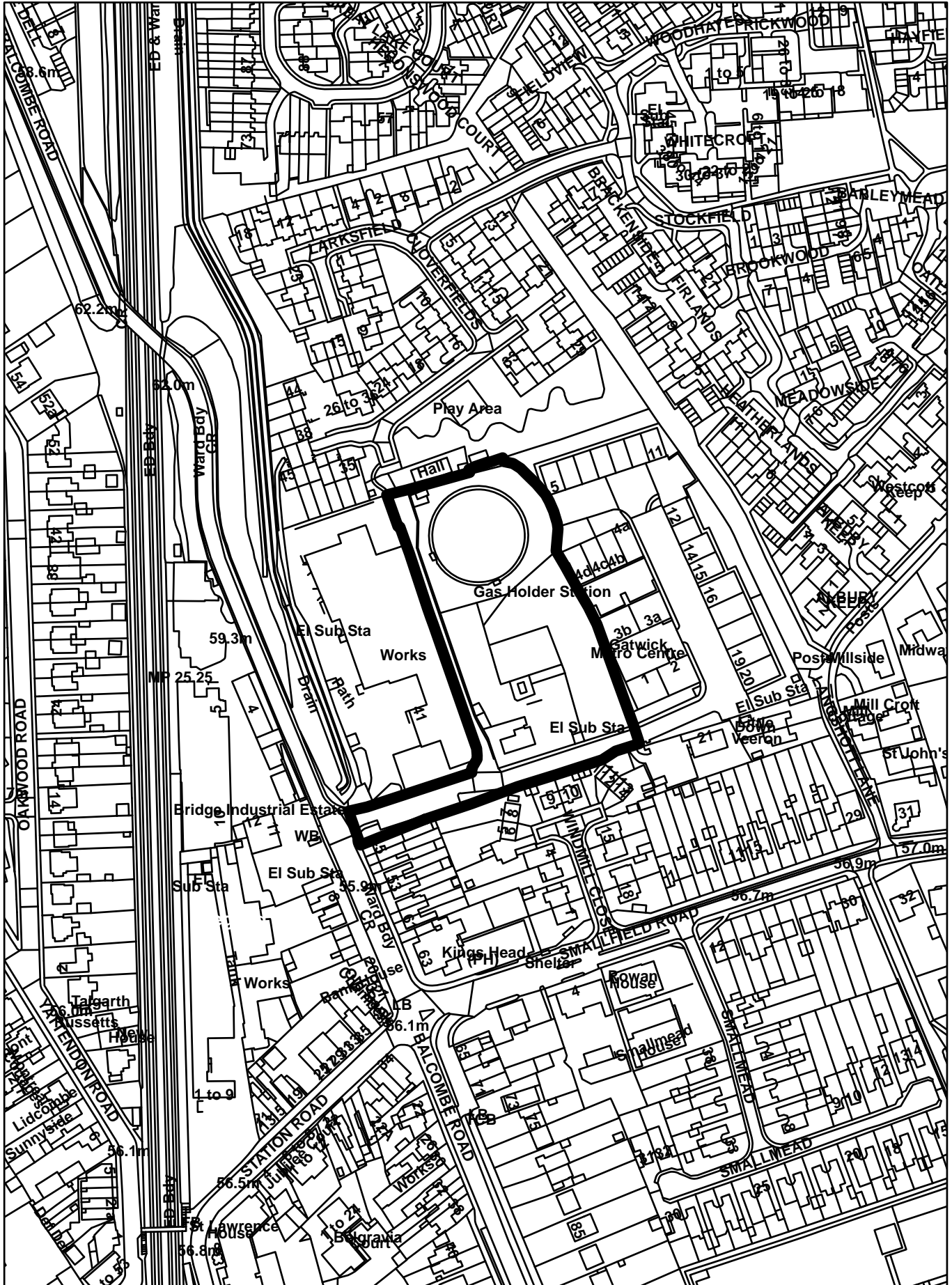
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies Pc4, Em1, EM1A, EM2, Em3, Em8, Ut4, Mo4, Mo5, Mo7 and CS1, CS5, CS10, CS11, CS12, CS17 and EMP2, DES1, DES8, DES9, TAP1, CCF1, CCF2, NHE2, NHE3 and INF1 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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19/00062/F - Horley Gas Holder Station,
Balcombe Road, Horley





PROPOSED SITE PLAN
Scale 1:500 @ A1

NOTES

1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.

SCOUT HUT

3 No. Parking Bays

NORTH CAR PARK

112 No. Parking Bays
2 No. Disabled Parking Bays

CENTRAL CAR PARK

16 No. Parking Bays

SOUTH CAR PARK

16 No. Parking Bays
2 No. Disabled Parking Bays

TOTAL PARKING BAYS

144 No. Parking Bays
4 No. Disabled Parking Bays
3 No. Scout Hut

SITE AREA

1.16 Hectares

FLOOR AREA (NEW OFFICE BUILDING)

4850m²

Rev.	Description	Date	Drn.By
P7	Note removed	04.02.19	kim
P6	Tree survey updated, Landscaping added	26.11.18	kim
P5	Layout Updated	For Comment	kim
P4	Survey and Layout Updated	For Discussion	kim
P3	Site Layout Amendments	11.07.18	kim
P2	Site Layout Amendments	For Comment	kim
P1	Preliminary Issue	For Comment	kim

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Tel: (01235) 515550 Fax: (01235) 817799
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Client : **Scotia Gas Networks**

Project : **SGN Gas Holder Site
Balcombe Road, Horley
Surrey, RH6 9AG**

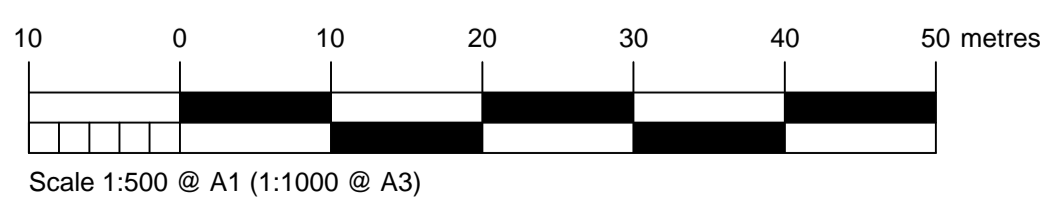
Title : **New Office Building
Proposed Site Plan**

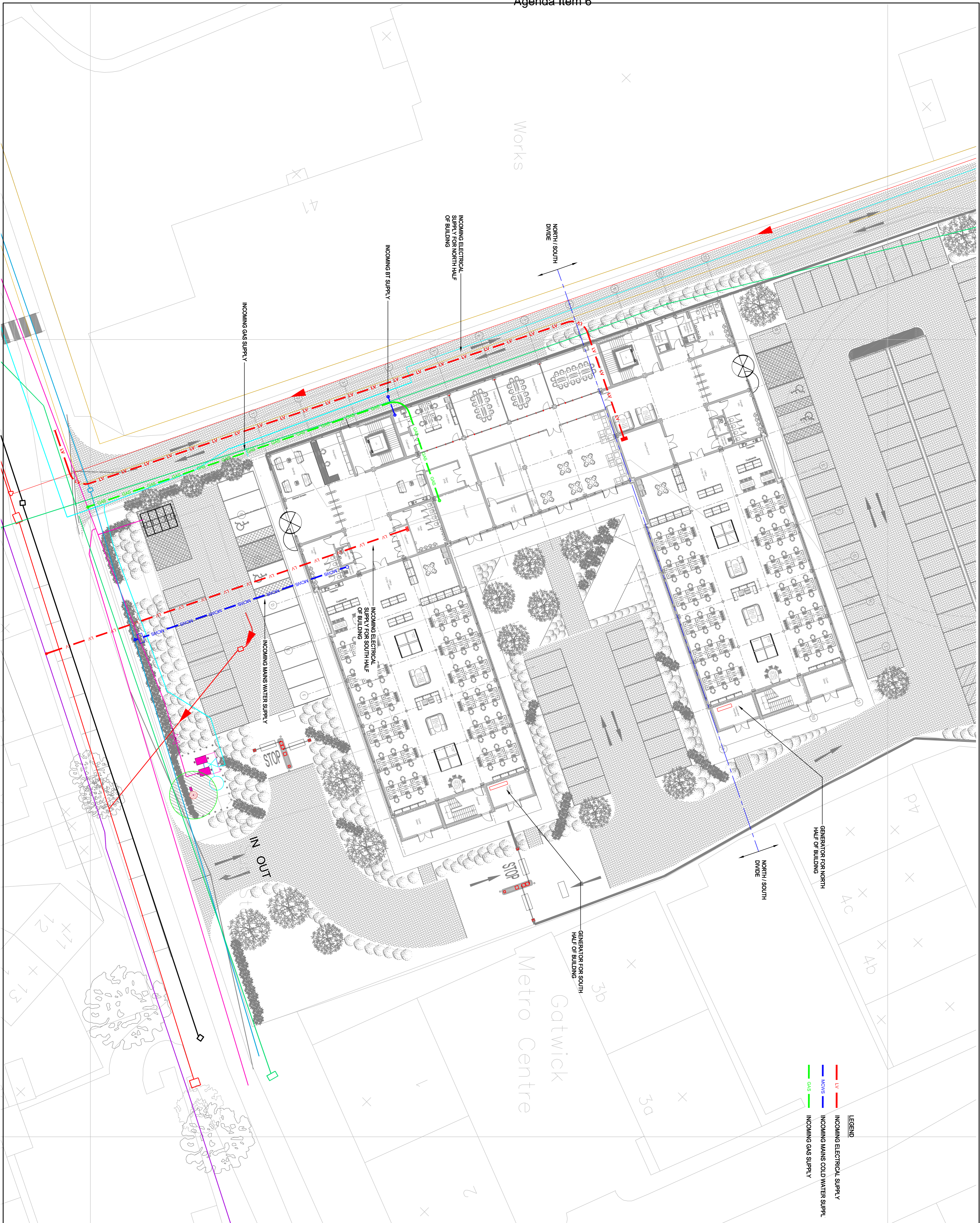
Project Engineer : S.Berger Scale : 1:500 @ A1
Project Director : S.Berger Date : January 2018
Status : **PRELIMINARY**

Drawing No. 8180162-5020 Rev **P7**

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DIMENSIONS
Dimensions are to be taken in preference to scaled dimensions. All dimensions are to be verified on site prior to work commencing.

DISCREPANCIES
Any discrepancy is to be referred to the consultant before proceeding.

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RELATED DOCUMENTS
This drawing shall be read in conjunction with the written specification where appropriate.

LEGEND

- LV — INCOMING ELECTRICAL SUPPLY
- MCVS — INCOMING MAINS COLD WATER SUPPLY
- GAS — INCOMING GAS SUPPLY
- INCOMING GAS SUPPLY

PROJECT TITLE	SGN Horley New Depot		
CLIENT	SGN		
DATE	08.02.19	DATE	08.02.19
ISSUE	PRELIMINARY ISSUE	AC	MB
REVISIONS		ISSUED	DATE

FORMING TITLE
Sketch Scheme
Site Services
Proposed Incoming Services Routes

Vector Project Reference: 4269

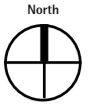
DRAWING NUMBER: 4269-5-4-SK-1000

DATE	AC	REVISION	SCALE
AC	MB	NTS	P1






















vector
design

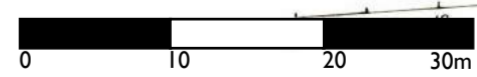
BUILDING SERVICES CONSULTANTS

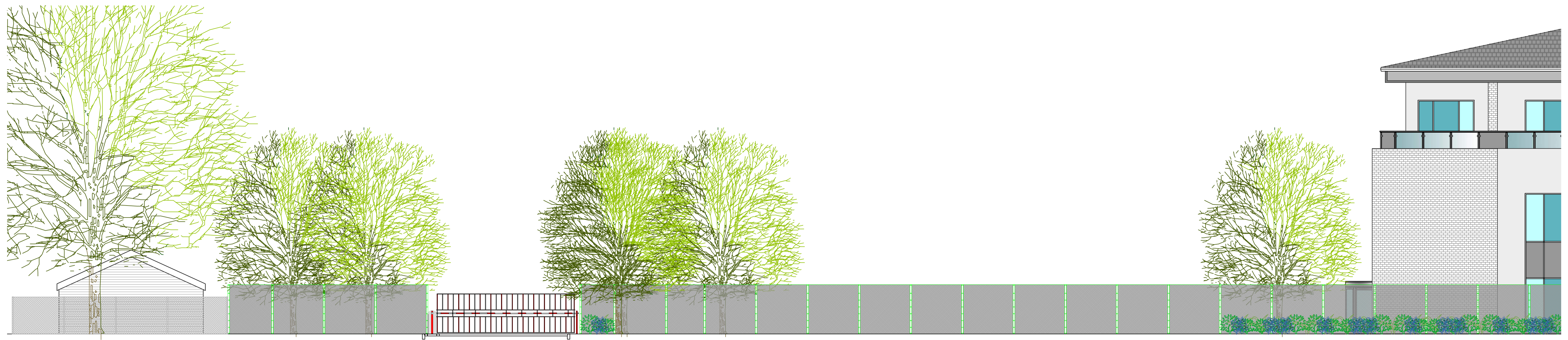
Church Farm Barns, Capton Lane, Stubbington, Gosport, Hampshire, UK
 TEL: 01865 892300 FAX: 01865 892318
 Website: www.vectordesign.co.uk



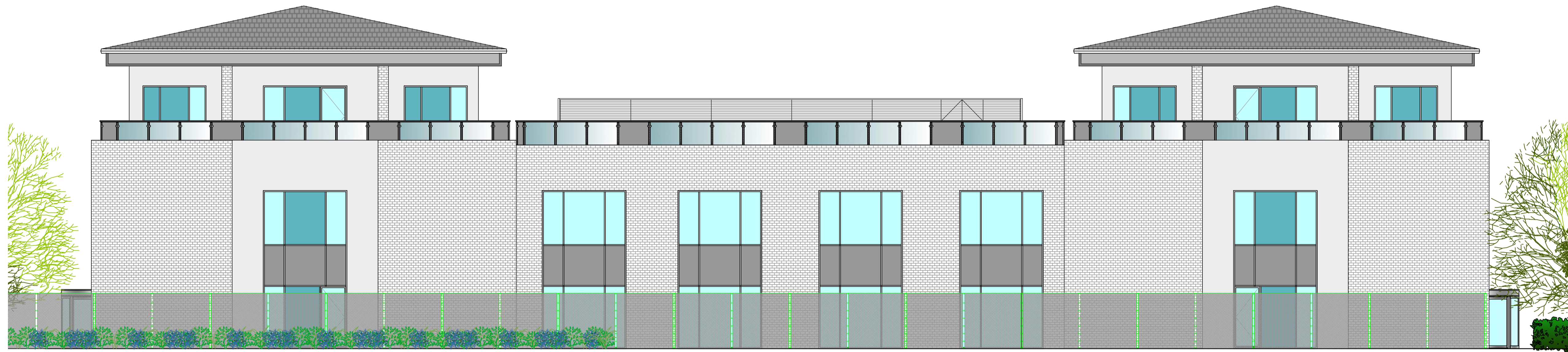
Legend

-  Application Boundary
-  Existing trees to be retained
-  Existing vegetation to be retained
-  Proposed trees
-  Proposed ornamental shrubs
-  Proposed hedge
-  Amenity grass
-  Tarmac to road
-  Tarmac to public footpath
-  Feature block paving to amenity area
-  Permeable block paving to parking bays
-  Permeable block paving to car park access roads
-  Flag paving to private footpath
-  Block paving to loading area
-  Gravel to seating area
-  Decking to informal street furniture
-  Rain garden
-  Pavers to amenity area
-  Vehicle barrier
-  Security fence with gates
-  Cycle storage





SIDE (WEST) ELEVATION FROM ROAD
Scale 1:250 @ A1



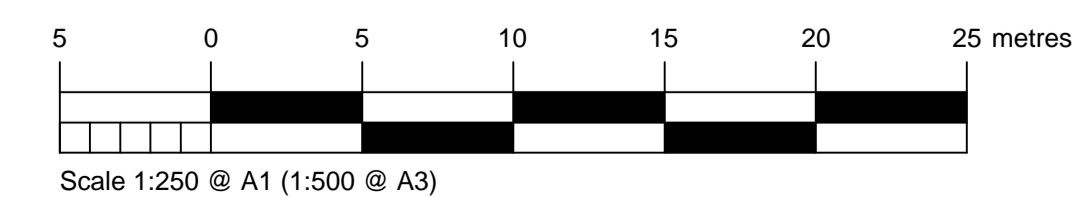
SIDE (WEST) ELEVATION FROM ROAD - CONTINUED
Scale 1:250 @ A1



SIDE (WEST) ELEVATION FROM ROAD - CONTINUED
Scale 1:250 @ A1

NOTES

1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.



P2	Note removed	04.02.19	kim
P1	Preliminary Issue	28.01.19	ps
Rev.	Description	Date	Drn.By

Glanville
 Cornerstone House
 62 Foxhall Road, Didcot
 Oxon, OX11 7AD
 Tel: (01235) 515550 Fax: (01235) 817799
 postbox@glanvillegroup.com www.glanvillegroup.com

Client : Scotia Gas Networks

Project : SGN Gas Holder Site
 Balcombe Road, Horley
 Surrey, RH6 9AG

Title : New Office Building
 Proposed Street Scene - Sheet 2 of 2

Project Engineer : S.Berger Scale : 1:250 @ A1
 Project Director : S.Berger Date : January 2018
 Status : PRELIMINARY

Drawing No. 8180162-5030 Rev P2

NOTES

1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.



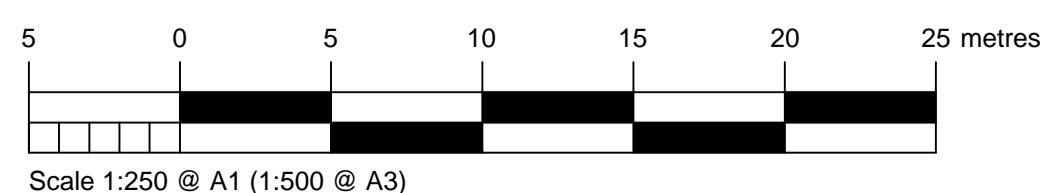
FRONT (SOUTH) ELEVATION FROM PUBLIC FOOTPATH

Scale 1:250 @ A1



FRONT (SOUTH) ELEVATION FROM PUBLIC FOOTPATH - CONTINUED

Scale 1:250 @ A1



Scale 1:250 @ A1 (1:500 @ A3)

Rev.	Description	Date	Drn.By
P2	Note removed	04.02.19	kim
P1	Preliminary Issue	28.01.19	ps

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 Balcombe Road, Horley
 Surrey, RH6 9AG

Title : New Office Building
 Proposed Street Scene - Sheet 1 of 2

Project Engineer : S.Berger Scale : 1:250 @ A1

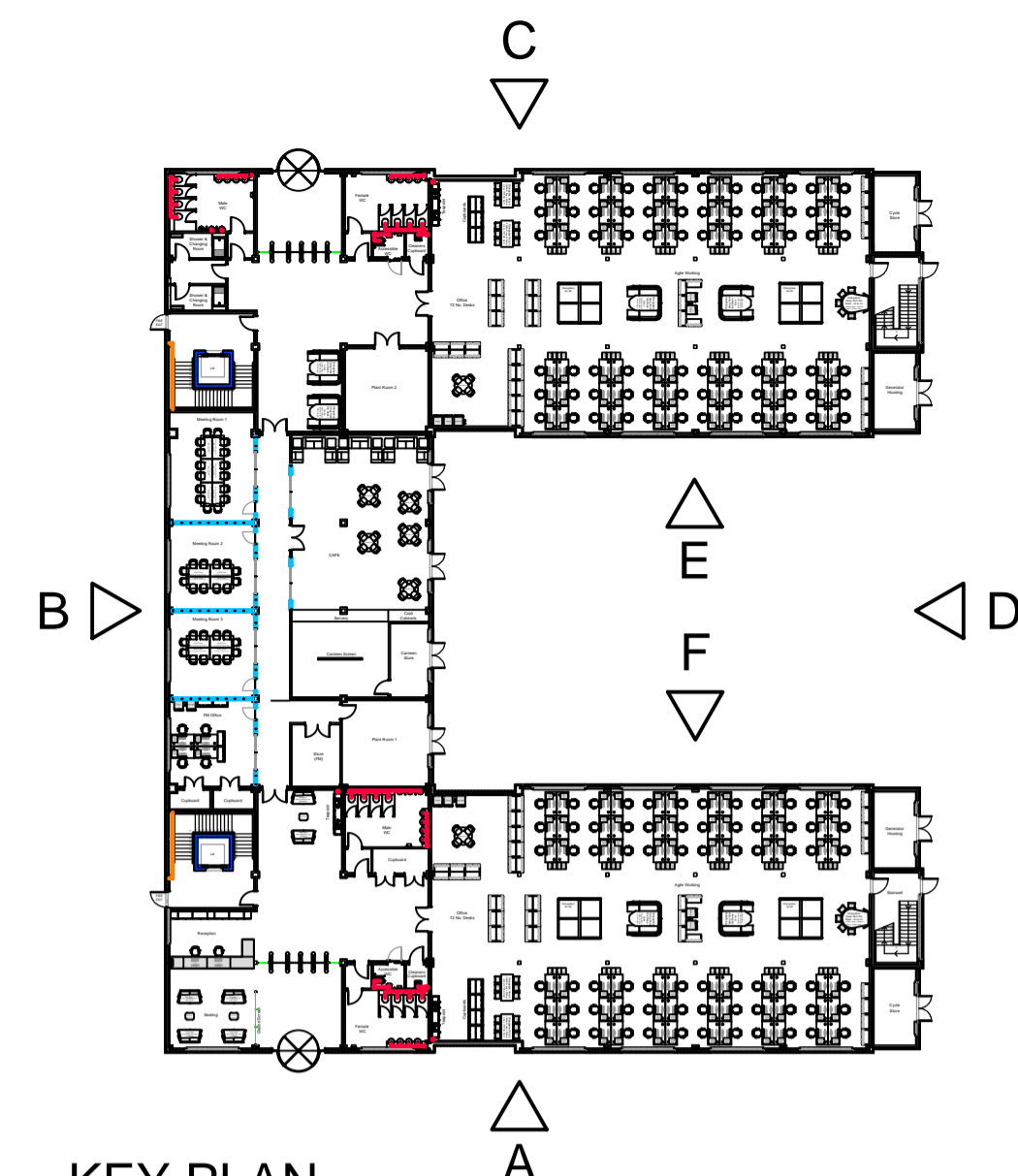
Project Director : S.Berger Date : January 2018

Status : PRELIMINARY

Drawing No. 8180162-5029 Rev P2



ELEVATION A
Scale 1:100 @ A1



KEY PLAN
Scale 1:500 @ A1

NOTES
1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.

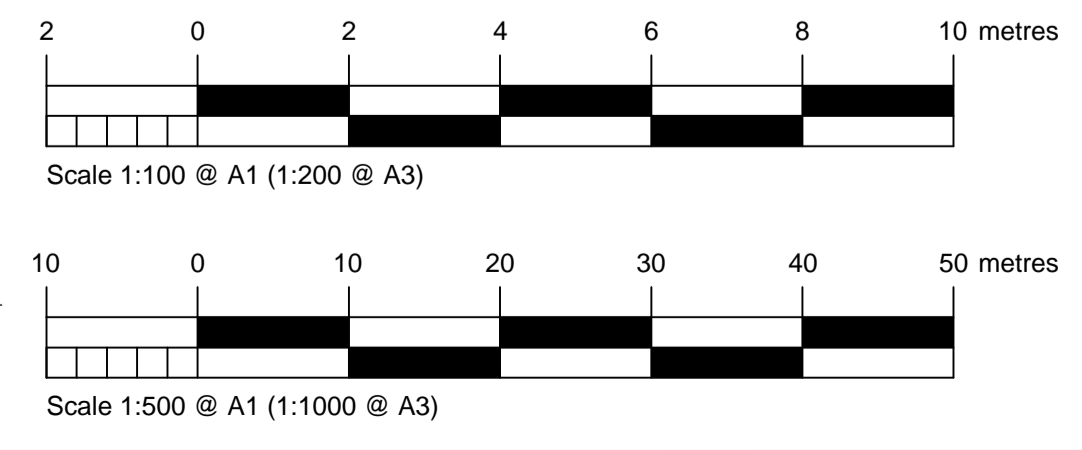


ELEVATION B
Scale 1:100 @ A1

- KEY:**
- Slate Roof Covering.
 - Facing Brickwork.
 - Through Coloured Insulated Render.
 - Curtain Walling / Glazing.
 - Curtain Walling Insulated Spandrel Panel.
 - Openable Door.
 - Stainless Steel Railing with Glazed Panels.
 - Louvred Acoustic Screen.



ELEVATION C
Scale 1:100 @ A1



Rev.	Description	Date	Drn.By
P4	Note removed	04.02.19	kim
P3	Elevations Updated	26.11.18	kim
P2	Elevations Updated	For Comment	kim
P1	Preliminary Issue	11.07.18	kim

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Client : Scotia Gas Networks

Project : SGN Gas Holder Site
Balcombe Road, Horley
Surrey, RH6 9AG

Title : New Office Building
Proposed Elevations - Sheet 1 of 2

Project Engineer : S.Berger Scale : As Shown @ A1
Project Director : S.Berger Date : January 2018
Status : PRELIMINARY

Drawing No. 8180162-5025 Rev P4

Agenda Item 6

NOTES

1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.



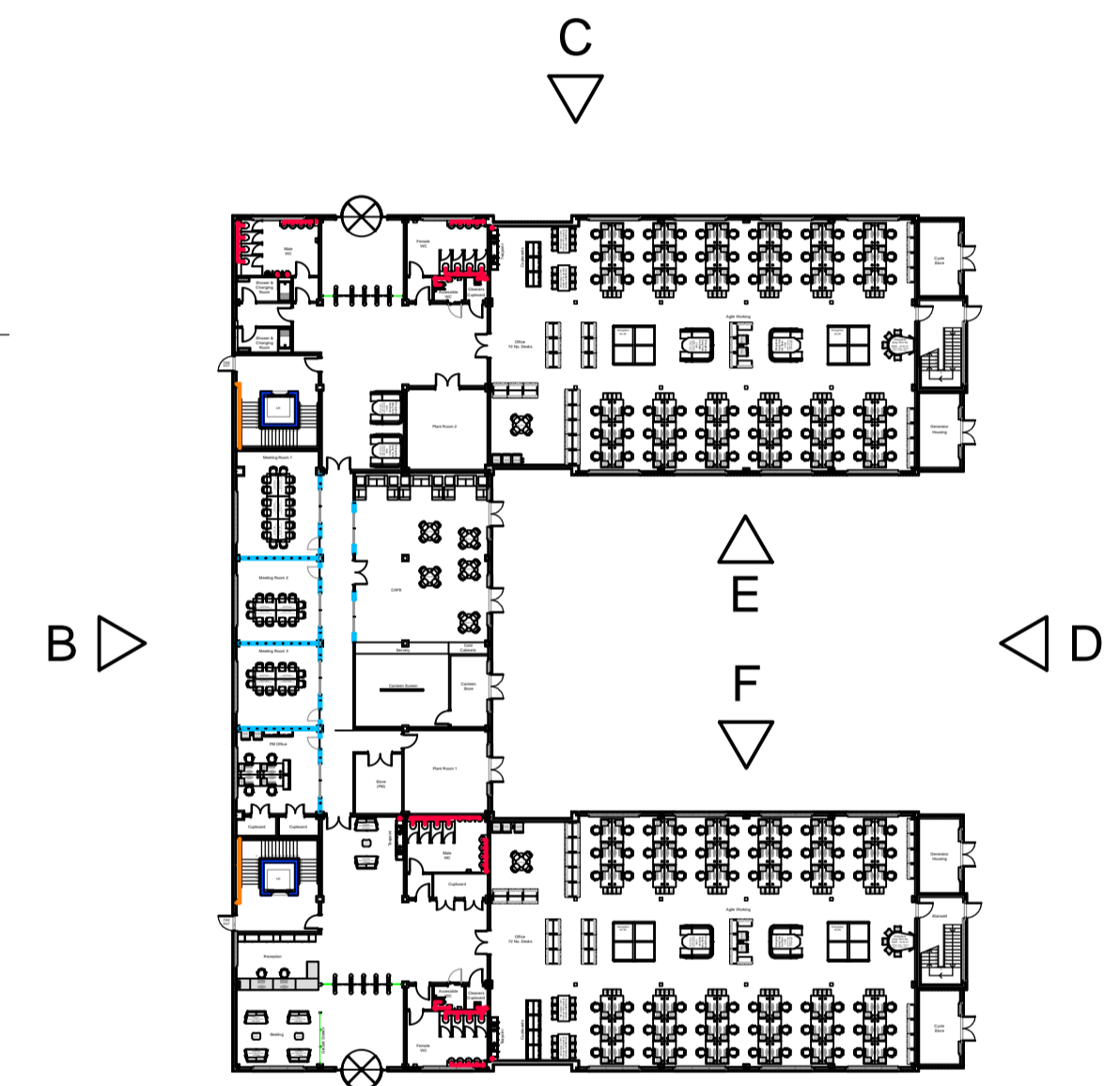
ELEVATION D
Scale 1:100 @ A1



ELEVATION E
Scale 1:100 @ A1



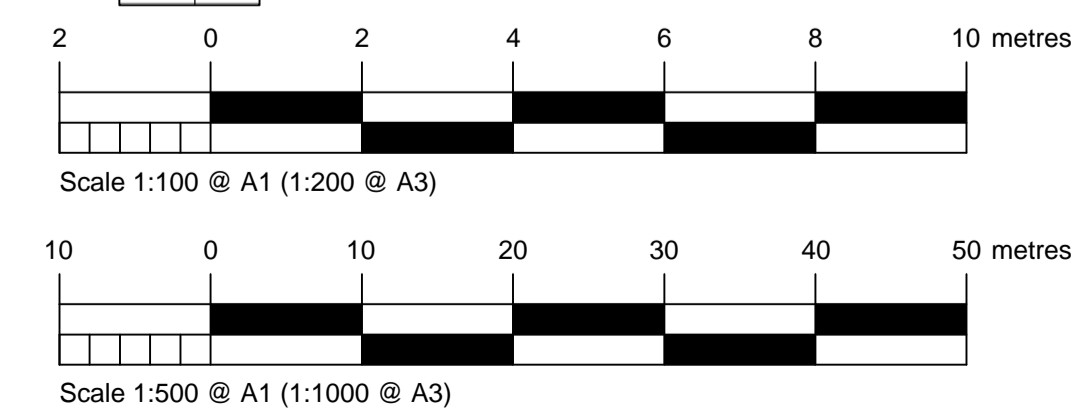
ELEVATION F
Scale 1:100 @ A1



KEY PLAN
Scale 1:500 @ A1

KEY:

- Slate Roof Covering.
- Facing Brickwork.
- Through Coloured Insulated Render.
- Curtain Walling / Glazing.
- Curtain Walling Insulated Spandrel Panel.
- Openable Door.
- Stainless Steel Railing with Glazed Panels.
- Louvred Acoustic Screen.



Rev.	Description	Date	Drn.By
P2	Note removed	04.02.19	kim
P1	Preliminary Issue	26.11.18	kim

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Client : Scotia Gas Networks

Project : SGN Gas Holder Site
 Balcombe Road, Horley
 Surrey, RH6 9AG

Title : New Office Building
 Proposed Elevations - Sheet 2 of 2

Project Engineer : S.Berger Scale : As Shown @ A1
 Project Director : S.Berger Date : January 2018

Status : PRELIMINARY

Drawing No. 8180162-5026 Rev P2

NOTES

1. This drawing is to be read in conjunction with all relevant drawings documents & specifications.



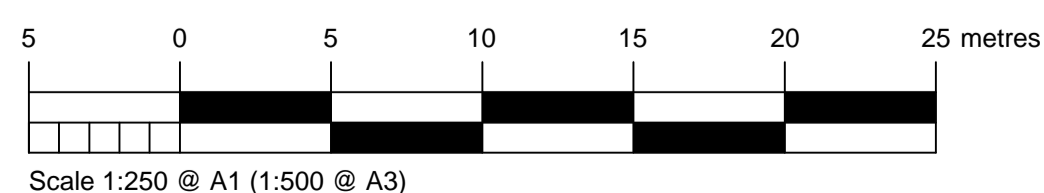
FRONT (SOUTH) ELEVATION FROM PUBLIC FOOTPATH

Scale 1:250 @ A1



FRONT (SOUTH) ELEVATION FROM VISITOR CAR PARK

Scale 1:250 @ A1



Scale 1:250 @ A1 (1:500 @ A3)

Rev.	Description	Date	Drn.By
P2	Note removed	04.02.19	kim
P1	Preliminary Issue	26.11.18	kim

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 postbox@glanvillegroup.com www.glanvillegroup.com

Client : Scotia Gas Networks

Project : SGN Gas Holder Site
 Balcombe Road, Horley
 Surrey, RH6 9AG

Title : New Office Building
 Proposed Site Elevations - Sheet 1 of 2

Project Engineer : S.Berger Scale : 1:250 @ A1

Project Director : S.Berger Date : January 2018


Status : PRELIMINARY

Drawing No. 8180162-5027 Rev P2

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	03rd July 2019
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Matthew Holdsworth
	TELEPHONE:	01737 276752
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: Chipstead, Kingswood, and Woodmansterne

APPLICATION NUMBER:	19/00387/S73	VALID:	27 February 2019
APPLICANT:	Mr M Rattu	AGENT:	Planning 2 Detail Ltd
LOCATION:	HILLTOP, WARREN DRIVE, KINGSWOOD, SURREY		
DESCRIPTION:	Demolition of existing dwelling, garage block and pool buildings. Erection of new dwelling, pool block and front boundary wall with railings and construction of underground garage and ramp access. Variation of condition 1 of permission 18/02041/F - changes to windows and doors on the rear and side elevation of the dwelling, and changes to the size and scale of the garage block and pool building.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

The application has been referred to committee by Cllr Parnall due to the scale of the subterranean works.

SUMMARY

This is a section 73 application to vary condition 1 (the 'plans condition') to 18/02041/F which granted permission for the demolition of existing dwelling, garage block and pool buildings. Erection of new dwelling, pool block and front boundary wall with railings and construction of underground garage and ramp access

The application site comprises a large plot, which was previously accommodated by a large detached dwellinghouse. The existing dwelling has been demolished on the site, and the replacement dwelling as approved under 18/02041/F is under construction.

This application seeks to vary condition 1 of 18/02041/F (the plans condition) to enable minor fenestration changes (ground floor only – two additional side windows, one larger window and rear window changed to a door). The proposal also includes the relocating of the swimming pool building from above ground at the rear of the garden to an underground location, beside the already consented subterranean garage. Access to the subterranean pool facilities would be via the underground garage, already approved.

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Whilst the proposed basement is substantial, following the works to construct the basement, it would not be visible and therefore would have little or no impact on the character of the RASC or the amenity of neighbouring properties. Conditions will be added to the decision to ensure that the levels of the rear garden do not change post construction, and a construction method statement to ensure that the process of the construction of the basement does not adversely affect neighbouring properties. A surface water drainage condition is also suggested to require details be submitted of measures to attenuate any surface water drainage issues arising from the subterranean nature of the basement.

A number of concerns have been raised regarding issues such as structural stability, damage to property and problems arising from the construction period, however none of these are material to the planning merits of the proposal and covered by separate legislation.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Kingswood Residents' Association: Whilst the one sectional view shows little change in ground level before and after excavation, it gives no assurance that the soil will not be spread around other parts of the garden with future damage to trees and drainage... Overall, this application and amendments raise the issue of general overdevelopment of the site in relation to plot size in comparison with the surrounding dwellings in this RASC. If underground development is not considered a factor, it may set a trend for the future.

SES Water: No comments received

Conservation Officer: Original concerns relating to use of slate tiles, impact on trees and landscaping overcome on submission of revised tree information and confirmation of scheme's compliance with previously approved materials and condition details.

Tree Officer: The arboricultural information has identified the extent of incursions into the RPA and provided relevant measures to ensure they are adequately protected during the excavation phase. Replacement planting is shown on the tree protection plan but it is not clear what size the trees will be at the time of planting, however this information can be secured by condition.

Representations:

Letters were sent to neighbouring properties on 27 February 2019, and 04 April 2019.

6 responses have been received raising the following issues:

Issue	Response
Overdevelopment	See paragraph 6.7
Out of character	See paragraph 6.7
Drainage issues	See paragraph 6.15
Inconvenience during construction	This is not a material planning consideration.
Harm to trees	See paragraphs 6.12-6.13

1.0 Site and Character Appraisal

1.1 The site formerly comprised a large two storey detached dwelling built in the mid twentieth century (now demolished) and sits within a large verdant plot. There is an 'in/out' driveway to the front and there was formerly mature landscaping to the front boundary with Warren Drive. The property as approved under 18/02041/F is now under construction and is at a relatively advanced stage.

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- 1.2 The site is located within the urban area, within a designated Residential Area of Special Character (RASC) and is characterised by various style large detached buildings set within verdant and spacious plots which make a positive contribution to the designated RASC. There have been a number of redevelopments over recent years, but in this part of Warren Drive this has been replacement dwellings rather than plot sub-divisions.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Not applicable.
- 2.2 Improvements secured during the course of the application: Retention of tiles to the roof, clarification of the levels to the rear, tree protection plan received, and increase to landscaping to the front garden
- 2.3 Further improvements could be secured: Conditions will be re-applied from the previous application, along with a condition relating to levels to the rear, a new tree protection plan and a condition relating to construction management.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|------------|--|--|
| 3.1 | 90/06600/F | 90/06600/F - Two storey side extension front porch and new pitched roof bedroom over double garage | Approved 03/04/90 |
| 3.2 | 04/00339/F | Front facade alteration with single and two storey front extension and single storey rear conservatory | Approved with conditions
07/04/2018 |
| 3.3 | 18/00409/F | Demolition of existing dwelling, garage block and pool buildings. Erection of new dwelling, pool block and front boundary wall with railings | Approved with conditions
21/06/18 |
| 3.4 | 18/02041/F | Demolition of existing dwelling, garage block and pool buildings. Erection of new dwelling, pool block and front boundary wall with railings and construction of underground garage and ramp access. | Approved with conditions
13/12/18 |

4.0 Proposal and Design Approach

- 4.1 This is a section 73 application to vary condition 1 (the plans condition) of the approved permission 18/02041/F.

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- 4.2 The principle of the development of the site for the new property has been established through previous permissions for a replacement dwelling following the removal of the previous building. The replacement dwelling is currently under construction.
- 4.3 Amended plans have been received during the course of the application, which retains the landscaping to the front of the property, along with the use of concrete tiles for the roof, rather than slate. The following alterations to the approved plans are therefore proposed:
- Removal of the consented pool building to the rear of the property
 - Construction of a fully underground pool and leisure facility connected to the consented underground garage measuring 18m by 13.5m. This would be entirely underground under the rear garden.
 - Addition of two ground floor side facing windows to the western elevation increase in size of the remaining window and alteration of rear window to a door.
- 4.4 No design and access statement has been submitted.

5.0 Policy Context

5.1 Designation

Urban Area

The Warren and The Glade Residential Area of Special Character

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)

CS4 (Valued Townscapes and Historic Environment)

CS10 (Sustainable Development)

CS11 (Sustainable Construction)

CS12 (Infrastructure Delivery)

CS14 (Housing Needs)

5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation

Pc4

Housing

Ho9, Ho13, Ho15. Ho16

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Householder Extensions and Alterations

Other

Human Rights Act 1998

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6.0 Assessment

6.1 The application site is located within the urban area where there is a presumption in favour of sustainable development.

6.2 The main issues to consider are:

- Impact on local character
- Neighbour amenity
- Impact on trees and landscaping
- CIL
- Other matters

Impact on local character

6.3 As already discussed, there is no in principle objection to the detached dwelling on the site for which permission has already been granted.

6.4 The changes to the dwelling house as approved relate only to the addition of two ground floor side facing windows to the western elevation, increase in size of the remaining window and alteration of rear window to a door. It is not considered that this would have any impact on the character or appearance of the dwelling.

6.5 Following discussions with the applicant, it has been agreed that the tiles consented in the previous application (18/00409/DET03) will be used on the roof, rather than slates as originally proposed in this application. This has overcome the Conservation officer's original concerns in this regard.

6.6 The major change to the proposals relate to the construction of a subterranean pool and leisure facility underneath part of the existing rear garden. This would measure 13.5m by 18m. Access would be via the consented underground garage. Plans show that the level of the rear garden would remain substantially unaltered following the construction of the basement and the replacement of the rear garden over.

6.7 Concern has been raised from neighbouring properties in terms of overdevelopment of the plot; the proposal replaces a consented outbuilding which would have been of a similar size to that now proposed. In addition, it is considered that the proposal, once constructed would not be prominently visible due to it being wholly underground and therefore the spacious character of the RASC would be respected in accordance with policy Ho15 of the Borough Local Plan.

6.8 It is considered that a condition be imposed to require the submission of details relating to the excavation and disposal of material from the site as well as finished site levels, in order to ensure that the garden is retained at a

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similar level its present state. On this basis the proposal is considered to comply with policies Ho9, Ho13, Ho15 and Ho16 of the Borough local plan.

Neighbour amenity

- 6.9 The development as amended has been considered with regards to its impact on the amenity of neighbouring properties. It is important to note that the visual appearance of the property has not changed from that consented under 18/00409/F with the exception of the addition of two ground floor side facing windows to the western elevation, increase in size of the remaining window and alteration of rear window to a door. It is not considered that this would have any impact on the. Given the ground floor nature of these windows and the intervening boundary treatments, It is not considered that this would cause harm to the neighbouring property.
- 6.10 In terms of the extended basement, it is not considered that once this has been constructed that there would be significant harm to the amenity of neighbouring properties as it would far less prominent than the approved outbuilding, being entirely subterranean. There is concern however, relating to its construction, including the removal of the soil from the site and it is considered pertinent to impose a condition requiring there to be a modified construction method statement to incorporate the new basement and the additional road movements etc associated with this.
- 6.11 Other matters such as concern about structural stability, damage to property and problems arising from the construction period are not material planning considerations. Whilst detailed drainage would be a matter for building regulations, and the area is outside an area of any known flooding, a condition is suggested requiring details of surface water attenuation to help ensure against any flooding resulting from the extended basement, given its large area. A concern relating to use of the basement area for commercial parking was received, however any use as such which increased the intensity of use or character of the site would constitute a material change of use requiring its own planning consent. It is considered therefore that the development as amended and subject to conditions, would cause no significant or material harm to the amenity of neighbouring properties and would comply with policies Ho9 and Ho15 of the local plan.

Impact on trees and landscaping

- 6.12 A revised arboricultural method statement has been required which identifies the extent of incursions into the root protection area (RPA) and provides for measures to ensure off-site trees are adequately protected during the excavation and construction of the development. Replacement planting is also shown on the tree protection plan but, as it is not clear what size the trees will be at the time of planting this information is requested by condition.
- 6.13 Relating to the implementation of the tree protection plan, a condition relating to the replacement tree planting and the re-imposition of the landscaping

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condition, it is considered that the scheme would be acceptable in this regard.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Combined Plan	HT_HWD/650	B	02.04.2019
Section Plan	HT_HWD/651		02.04.2019
Combined Plan	HT_HWD/150	B	25.02.2019
Proposed Plans	HT_HWD/650	B	25.02.2019

2. Notwithstanding the drawings, the development shall be carried out in accordance with the submitted materials as approved under reference 18/00409/DET03, including the use of concrete tiles rather than the slates shown on the submitted plans.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

3. No construction for the basement as consented shall commence on site until an updated Method of Construction Statement, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors;
 - (b) loading and unloading of plant and materials;
 - (c) storage of plant and materials;
 - (d) a programme of works (including measures for traffic management); and
 - (e) provision of boundary hoarding behind any visibility splays;
 - (f) a strategy for the removal of excavated material from the site and
 - (g) a communication plan to ensure that nearby residents and businesses are given advance notice of the construction programme, including any unusual deliveries,and are able to take up any issues that may arise with a nominated site manager; has been submitted to and been approved in writing by the Local

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Planning Authority. Only the approved details shall be implemented during the construction period.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to nearby occupiers or other highway users with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Mo7.

4. No construction of the basement shall commenced until details of surface water drainage attenuation details have been submitted to and approved by the Local Planning Authority. The development shall be carried out in strict accordance with the submitted details.

Reason:

To ensure that the development does not result in any surface water flooding with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ut4.

5. No development of the basement as consented shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan and Arboricultural Method Statement compiled by ACS reference ha/aiams1/hilltop dated 14th May 2019.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with policy Pc4 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

6. No development of the basement as consented shall commence until a scheme for replacement tree planting of the site has been submitted and approved in writing by the local planning authority. The scheme shall include details of tree location, schedules of tree species and size with proposed numbers.

All trees shall comply with the requirements of British Standard 8545:2014 Trees: from nursery to independence in the landscape - Recommendations. All pre planting site preparation, planting and post-planting maintenance work shall be carried out in accordance with the requirements of British Standard 4428 (1989) Code of Practice for general landscape operations (excluding hard surfaces).

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837:2005.

Any trees planted in accordance with this condition which are removed, die or become damaged or diseased within five years of planting shall be replaced within the next planting season by trees of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, and Ho9 of the Reigate and Banstead Borough Local Plan 2005.

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7. No work regarding the construction of the underground garage and basement shall commence until details of hard and soft landscaping is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include frontage tree and hedge planting and any other existing or proposed, soft or hard, landscaping in the front garden area, or adjacent to boundaries where appropriate. The soft landscape details shall include an establishment maintenance schedule for a minimum of 2 years, full planting specifications, planting sizes & densities. Upon implementation of the approved development all the landscaping works shall be carried out in strict accordance with the landscape details as approved, and these shall be completed, before building completion, occupation or use of the approved development whichever is the earliest.

If any of the new or existing tree/s or hedge/s, detailed and approved under this condition, are removed, die, or become significantly damaged or diseased within 5 years of completion, it/they shall be replaced before the expiry of one calendar year, to a planting specification agreed in writing by the Local Planning Authority. The hedges detailed shall be retained at a minimum height of 1 metre, or if new, once grown to this height thereafter.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Ho9, and Ho13 of the Reigate and Banstead Borough Local Plan 2005.

8. Notwithstanding the provisions of Condition 7, the proposed laurel hedge to the front boundary shall be planted within the first planting season after commencement of the installation of the new railings, piers and wall to the front boundary with Warren Drive.

The laurel hedge shall thereafter be retained on an ongoing basis and managed to maintain a height greater than the height of the railings or as otherwise agreed in writing by the local planning authority. Any losses through death or disease shall be remedied by replacement planting of the same species, to current landscape standards (including height), within 1 year to maintain this feature.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the Residential Area of Special Character and to comply with policies Pc4, Ho9, Ho13 and Ho15 of the Reigate and Banstead Borough Local Plan 2005.

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A, B, C, D or E of Part 1 of the Second Schedule of the 2015 Order shall be constructed (other than those expressly authorised by this permission).

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, Ho15, and Ho16.

10. Notwithstanding the provisions of the Town and Country Planning (General

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Permitted Development) (England) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

11. The first floor windows in the side elevations of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.
Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.
12. The roof area of the single storey element to the rear hereby permitted shall not be used as a balcony, roof garden or similar amenity area without the grant of further specific permission from the Local Planning Authority.
Reason: To ensure that the development does not affect the amenity of existing properties by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13 and Ho16.
13. No construction of the basement shall be commenced until the details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings have been submitted and approved in writing by the Local planning Authority. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

INFORMATIVES

1. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
2. The use of suitably experienced landscape architects is recommended to satisfactorily address both the design and implementation of the landscape details of the above condition although such landscaping is often straightforward and small scale in proportion to the approved development.
3. Building works involving work on an existing wall shared with another property; or new building on the boundary with a neighbouring property; or

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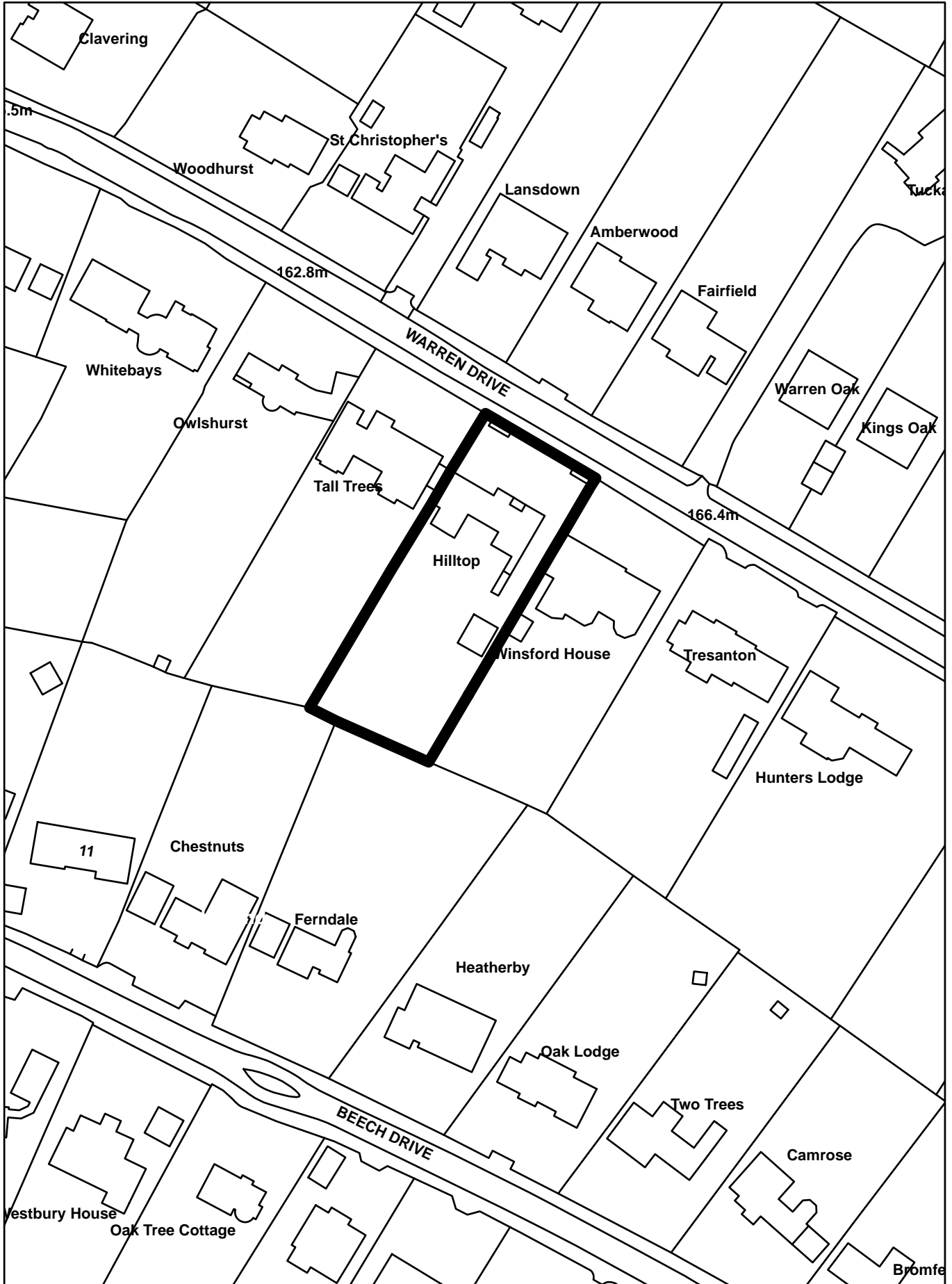
excavating near a neighbouring building, may fall within the scope of the Party Wall, etc. Act 1996 and may require that you serve a Statutory Notice on all affected owners. Further guidance is available from www.communities.gov.uk

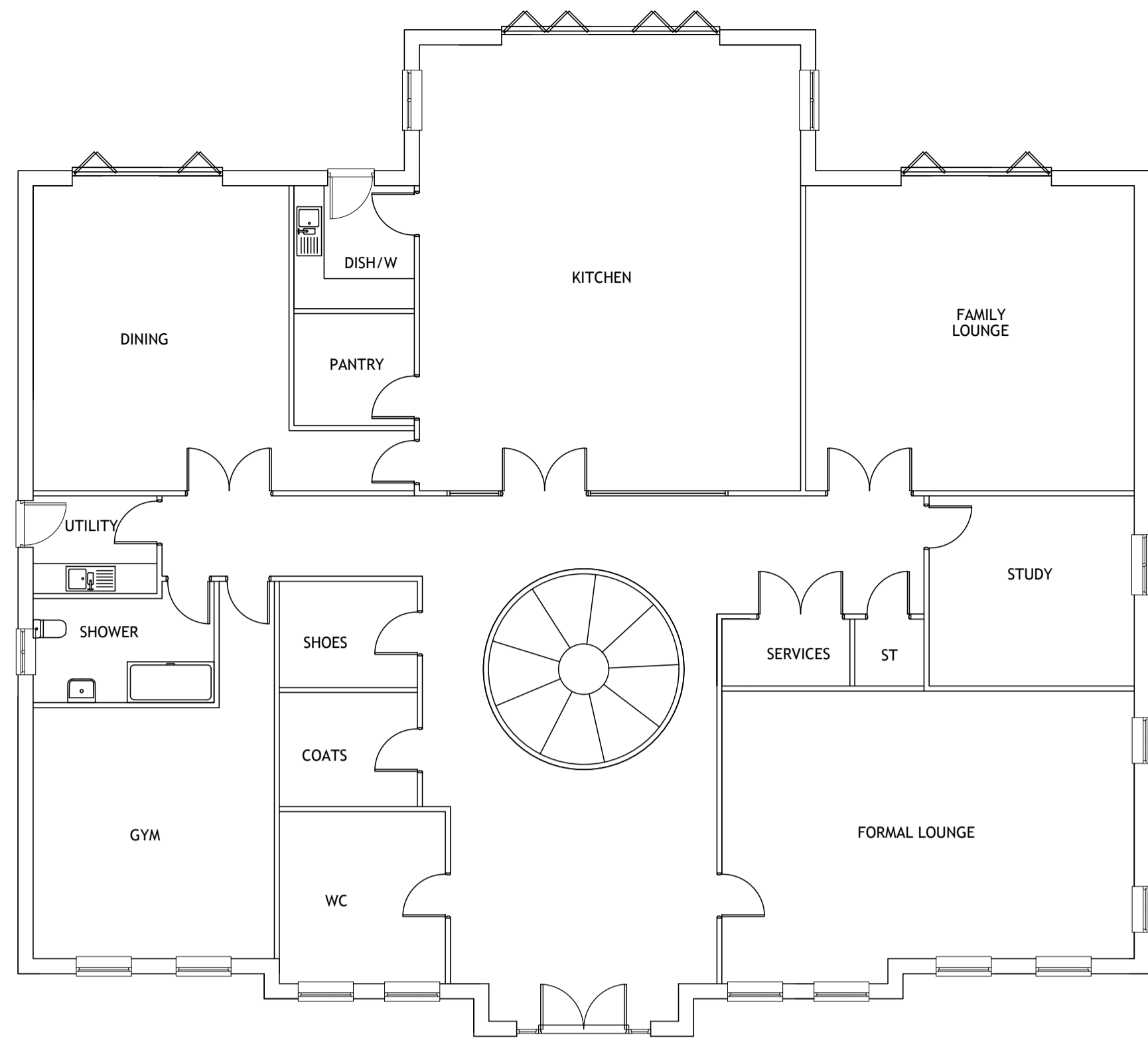
4. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info

REASON FOR PERMISSION

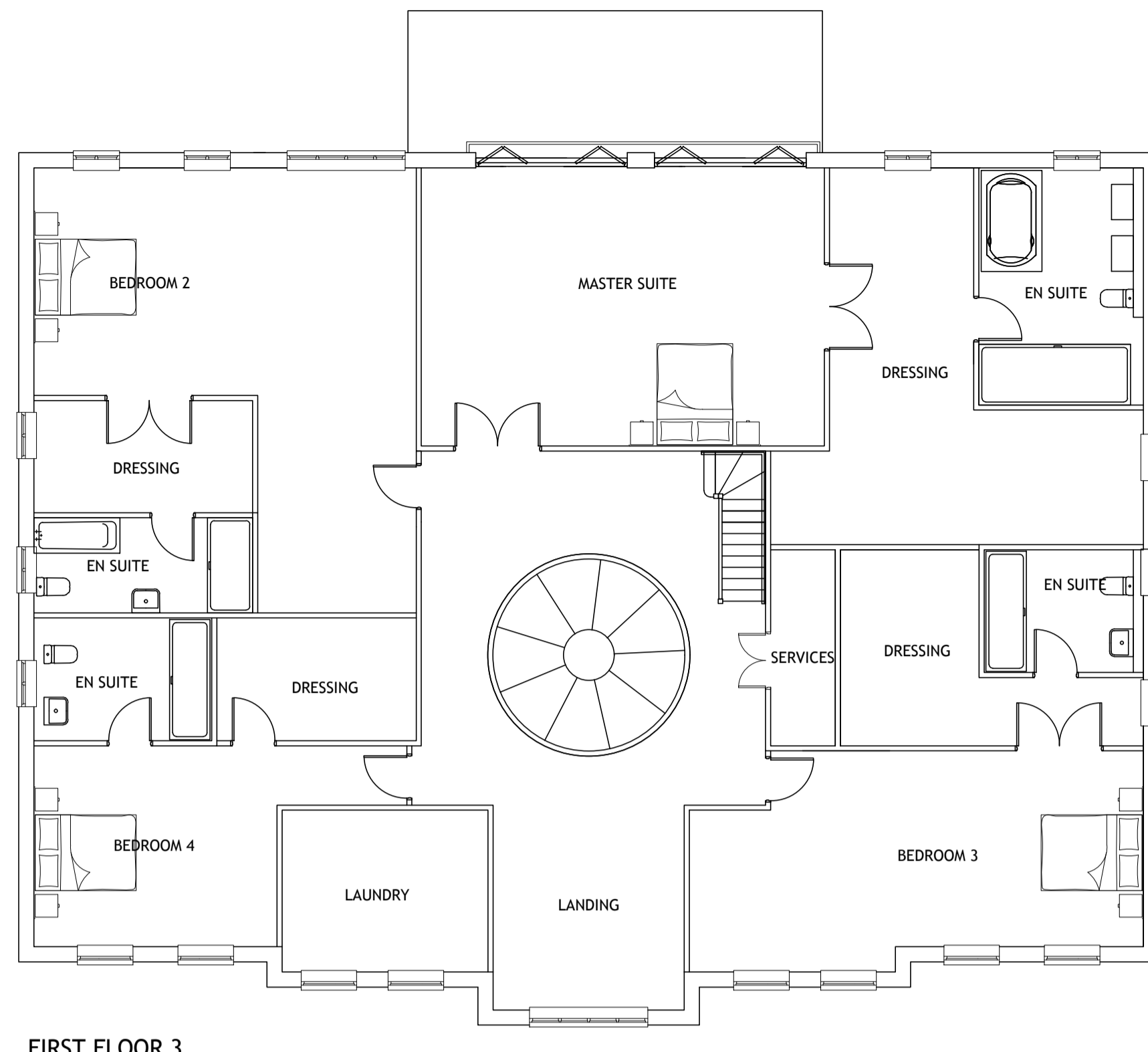
The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho15, Ho16, Pc4 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

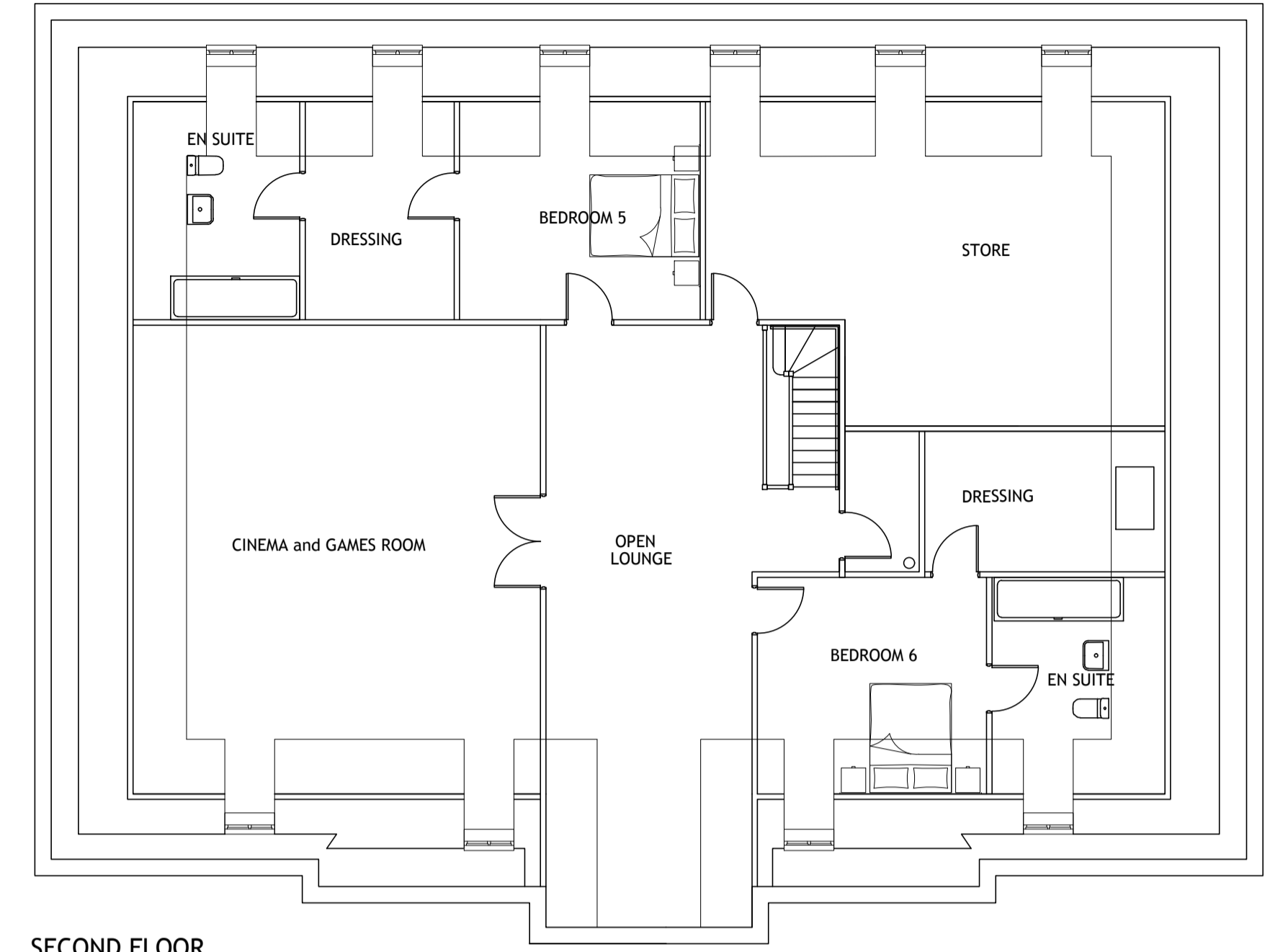




GROUND FLOOR 1



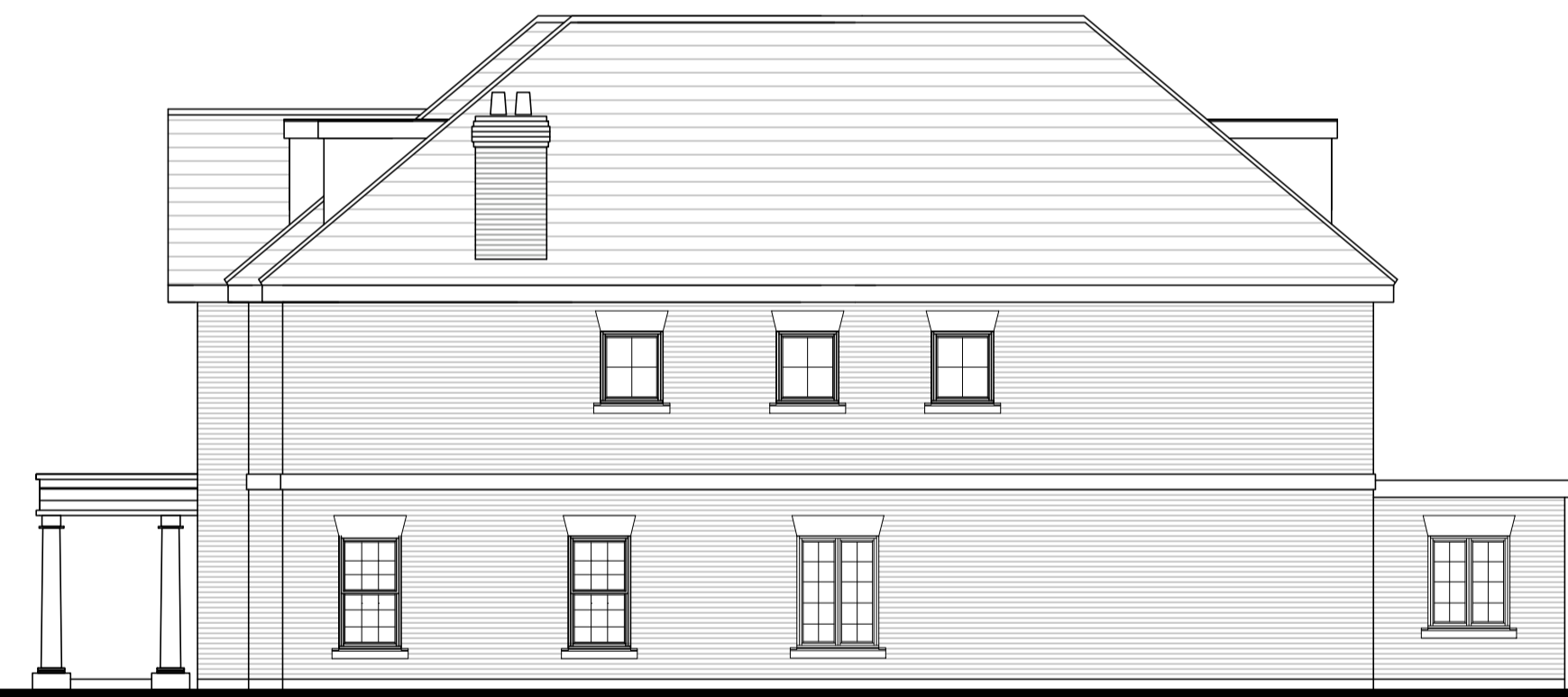
FIRST FLOOR 3



SECOND FLOOR



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

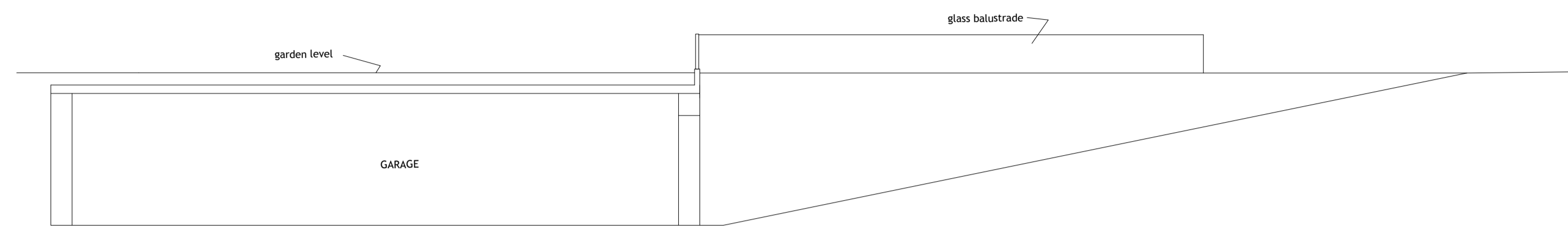
AMENDED ROOF MATERIALS
 ROOF TILES - SIGA 39 PREMIUM SPANISH SLATE

NON MATERIAL AMENDMENT

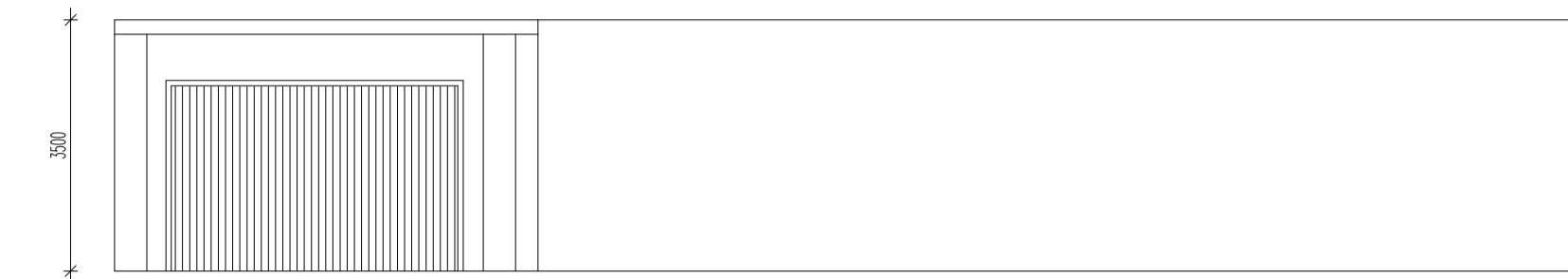


Proposed Replacement Dwelling
 at HILLTOP, WARREN DRIVE,
 KINGSWOOD, KT20 6PT.
 DRAWING: HOUSE PLANS &
 ELEVATIONS
 Scale: 1:100 @ A1
 Date: JULY 2018

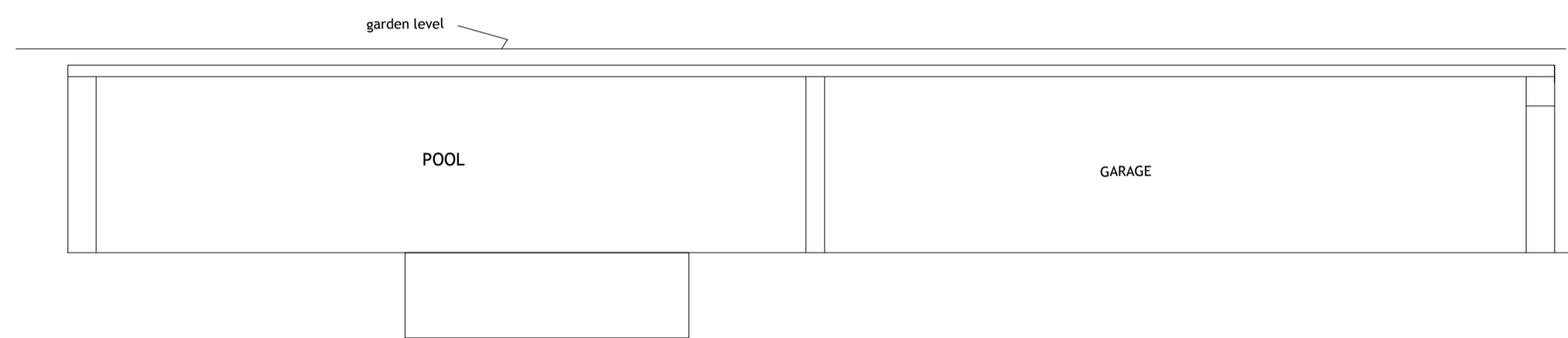
DRAWING No: HT_HWD/150 B



SECTION ELEVATION 1

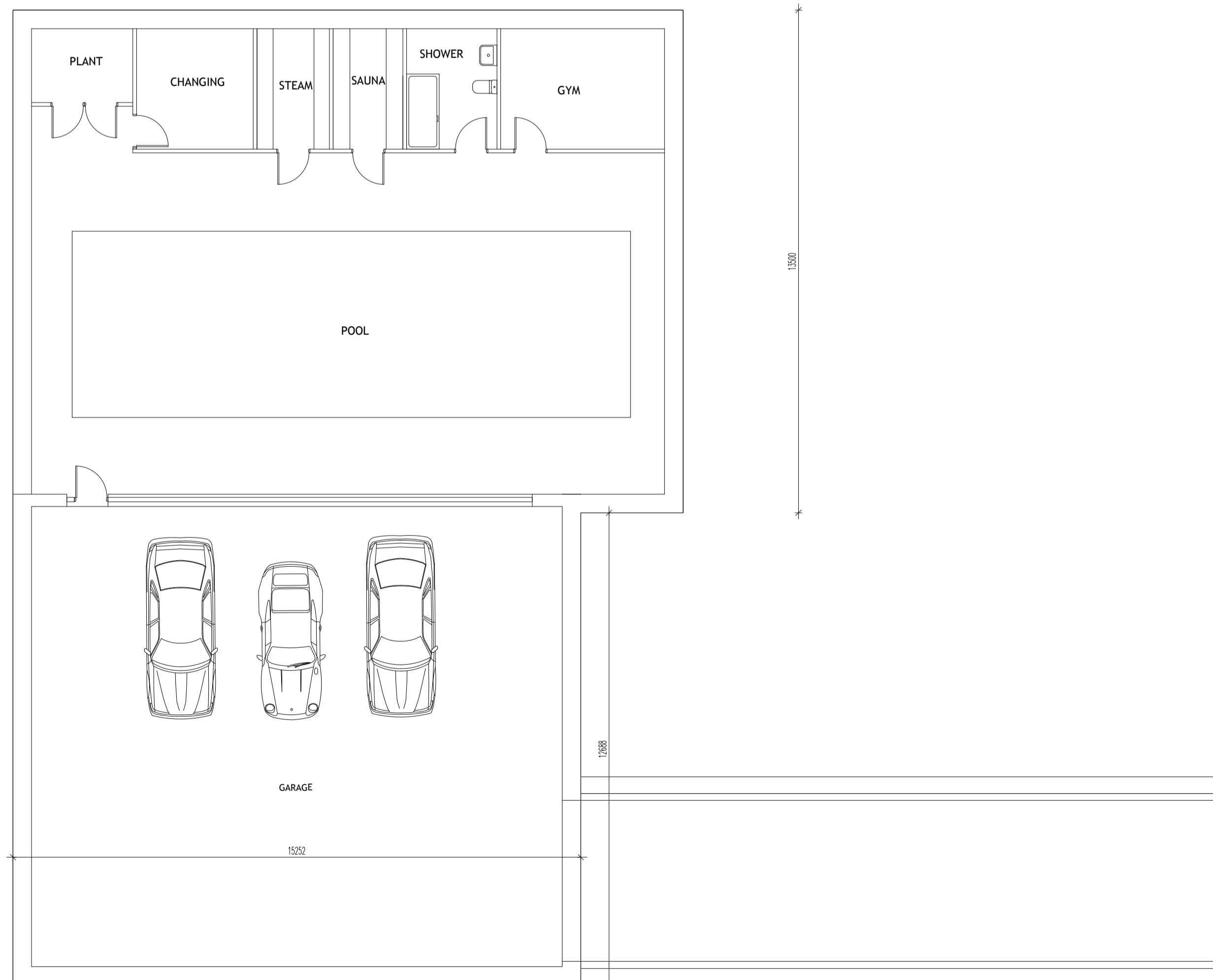


ENTRANCE ELEVATION

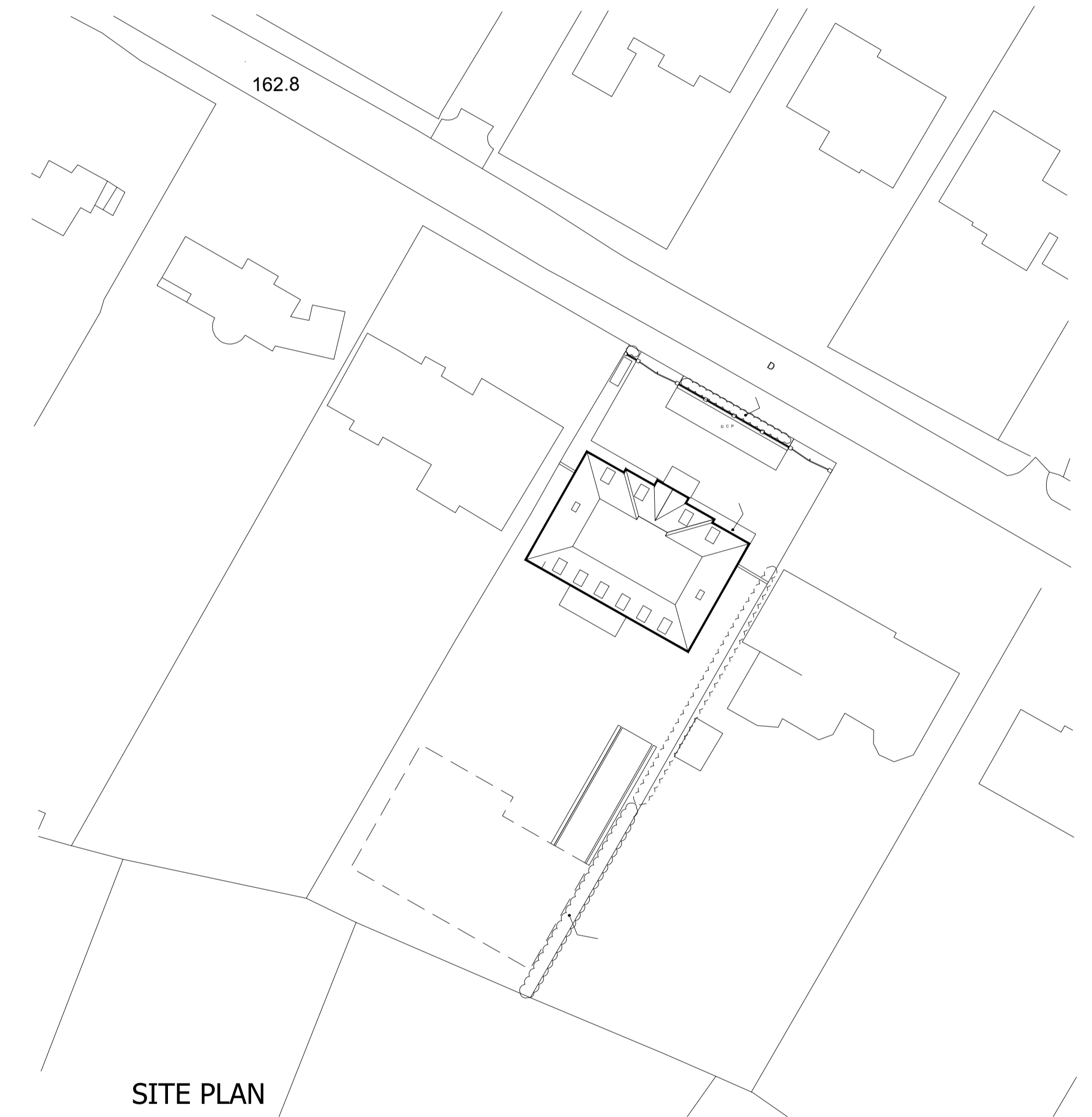


SECTION ELEVATION 2

18000



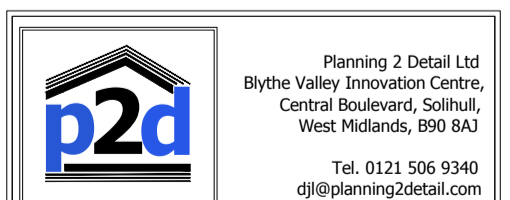
LOWER FLOOR PLAN



SITE PLAN



LOCATION PLAN

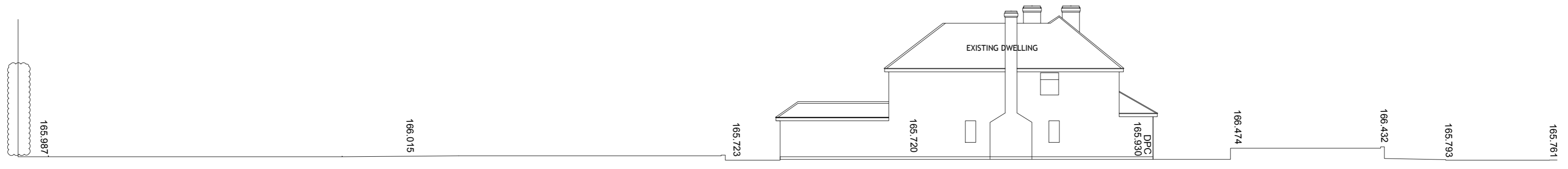


Proposed Replacement Dwelling
at HILLTOP, WARREN DRIVE,
KINGSWOOD, KT20 6PT.

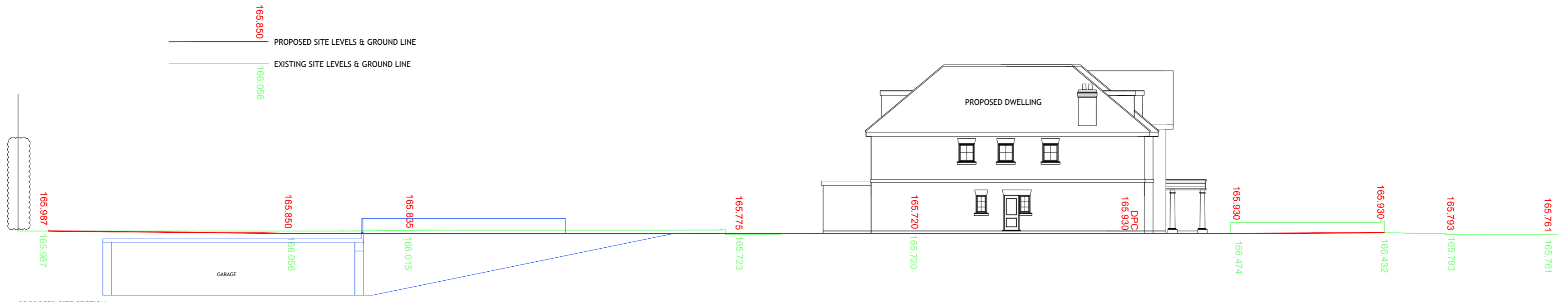
DRAWING: UNDERGROUND GARAGE/
POOL ROOM

Scale: 1:100, 1:500 & 1:1250 @ A1
Date: SEPT 2018

DRAWING No: HT_HWWD/650B



EXISTING SITE SECTION



PROPOSED SITE SECTION

SITE SECTIONS


 Planning 2 Detail Ltd
 Blythe Valley Innovation Centre,
 Central Boulevard, Solihull,
 West Midlands, B90 8AJ
 Tel. 0121 506 9340
 dj@planning2detail.com

Proposed Replacement Dwelling
 at HILLTOP, WARREN DRIVE,
 KINGSWOOD, KT20 6PT.

DRAWING: SITE SECTIONS

Scale: 1:200 @ A2
 Date: MAR 2019

DRAWING No: HT_HWD/651